

# CITY OF ARCADIA

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## Arcadia Planning Commission Regular Meeting Agenda



**Tuesday, November 22, 2022, 7:00 p.m.**

Pursuant to the Americans with Disabilities Act, persons with a disability who require a disability related modification or accommodation in order to participate in a meeting, including auxiliary aids or services, may request such modification or accommodation from Planning Services at (626) 574-5423. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to assure accessibility to the meeting.

根据《美国残障人法案》的规定，需要提供残障相关调整或便利设施才能参加会议的残障人士（包括辅助器材或服务），可向规划服务部请求获得此类调整或便利设施，电话号码 (626) 574-5423。请在会前 48 小时通知规划服务部，以便作出合理安排，确保顺利参加会议。

Pursuant to the City of Arcadia's Language Access Services Policy, limited-English proficient speakers who require translation services in order to participate in a meeting may request the use of a volunteer or professional translator by contacting the City Clerk's Office at (626) 574-5455 at least 72 hours prior to the meeting.

根据阿凯迪亚市的语言便利服务政策，英语能力有限并需要翻译服务才能参加会议的人可与市书记官办公室联系（电话：626-574-5455），请求提供志愿或专业翻译服务，请至少在会前 72 小时提出请求。

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### CALL TO ORDER

### ROLL CALL

Brad Thompson, Chair  
Vincent Tsoi, Vice Chair  
Angela Hui, Commissioner  
Domenico Tallerico, Commissioner  
Marilynne Wilander, Commissioner

### SUPPLEMENTAL INFORMATION FROM STAFF REGARDING AGENDA ITEMS

#### **PUBLIC COMMENTS (5 minute time limit per person)**

Each speaker is limited to three (5) minutes per person, unless waived by the Planning Commission. Under the Brown Act, the Commission or Board Members are prohibited from discussing or taking action on any item not listed on the posted agenda.

#### **PUBLIC HEARING**

All interested persons are invited to appear at a public hearing and to provide evidence or testimony concerning any of the proposed items set forth below for consideration. Separate and apart from the applicant (who may speak longer in the discretion of the Commission) speakers shall be limited to **five (5) minutes per person**. The applicant may additionally submit rebuttal comments, at the discretion of the Commission.

You are hereby advised that should you desire to legally challenge in court or in an administrative proceeding any action taken by the City Council regarding any public hearing item, you may be limited to raising only those issues and objections you or someone else raised at the public hearing or in written correspondence delivered to the City Council at, or prior to, the public hearing.

- Resolution No. 2107** – Approving Conditional Use Permit No. CUP 22-08 for a new tattoo shop at 1010 S. Baldwin Avenue #203  
**Recommendation:** Adopt  
**CEQA:** Determine to be Exempt

**Applicant:** Everett Lara

*There is a ten day appeal period after the adoption of the Resolution. If adopted, appeals are to be filed by 5:30 p.m. on Monday, December 5, 2022.*

- Resolution No. 2106** – Homeowner’s Association Appeal No. 22-05 appealing the Santa Anita Oaks Homeowners’ Association Architectural Review Board’s approval of a new two-story, Cape Cod style home with an attached four-car garage at 1225 Oaklawn Road  
**Recommendation:** Adopt and Deny the Appeal  
**CEQA:** Determine to be Exempt

**Appellants:** Shirly Chi, Jill and Steve Hisey, Feizhi Chen and Angela P Lin, Dr. Gary and Karen Jacobsen, Maurice and Beverly Stewart, Drs. Hymavathi and Narandranath Reddy, and Dr. David and Keppie Sullivan

*There is a ten day appeal period after the adoption of the Resolution. If adopted, appeals are to be filed by 5:30 p.m. on Monday, December 5, 2022.*

## **CONSENT CALENDAR**

All matters listed under the Consent Calendar are considered to be routine and can be acted on by one roll call vote. There will be no separate discussion of these items unless members of the Commission, staff, or the public request that specific items be removed from the Consent Calendar for separate discussion and action.

- Minutes of the November 8, 2022, Regular Meeting of the Planning Commission  
**Recommendation:** Approve

## **MATTERS FROM CITY COUNCIL LIASION**

## **MATTERS FROM PLANNING COMMISSIONERS**

## **MATTERS FROM ASSISTANT CITY ATTORNEY**

## **MATTERS FROM STAFF INCLUDING UPCOMING AGENDA ITEMS**

## **ADJOURNMENT**

The Planning Commission will adjourn this meeting to Tuesday, December 13, 2022, at 7:00 p.m.

# Welcome to the Arcadia Planning Commission Meeting!

The Planning Commission encourages public participation, and invites you to share your views on City business.

**MEETINGS:** Regular Meetings of the Planning Commission are held on the second and fourth Tuesdays of each month at 7:00 p.m. in the City Council Chambers. A full Planning Commission agenda packet with all backup information is available at City Hall, the Arcadia Public Library, and on the City's website at [www.ArcadiaCA.gov](http://www.ArcadiaCA.gov). Copies of individual Agenda Reports are available via email upon request ([Planning@ArcadiaCA.gov](mailto:Planning@ArcadiaCA.gov)). Documents distributed to a majority of the Planning Commission after the posting of this agenda will be available for review at the Planning Services Office in City Hall, 240 W. Huntington Drive, Arcadia, California.

**CITIZEN PARTICIPATION:** Your participation is welcomed and invited at all Planning Commission meetings. Time is reserved at each regular meeting for those in the audience who wish to address the Planning Commission. The City requests that persons addressing the Planning Commission refrain from making personal, slanderous, profane, or disruptive remarks. When the Chair asks for those who wish to speak please come to the podium and state your name and address for the record. Please provide a copy of any written materials used in your address to the Planning Commission as well as a copy of any printed materials you wish to be distributed to the Planning Commission.

**MATTERS NOT ON THE AGENDA** should be presented during the time designated as "PUBLIC COMMENTS." In general, each speaker will be given (5) minutes to address the Planning Commission; however, the Chair, at his/her discretion, may shorten the speaking time limit to allow all speakers time to address the Planning Commission. **By State law, the Planning Commission may not discuss or vote on items not on the agenda. The matter will automatically be referred to staff for appropriate action or response, or will be placed on the agenda of a future meeting.**

**PUBLIC HEARINGS AND APPEALS** are items scheduled for which public input is either required or desired. Separate and apart from an applicant or appellant (who may speak longer at the discretion of the Planning Commission), speakers shall be limited to (5) minutes per person. The Chair, at his/her discretion, may shorten the speaking time limit to allow all speakers to address the Planning Commission. The applicant or appellant may also be afforded an additional opportunity for rebuttal comments.

**AGENDA ITEMS:** The Agenda contains the regular order of business of the Planning Commission. Items on the Agenda have generally been reviewed and investigated by the City Staff in advance of the meeting so that the Planning Commission can be fully informed about a matter before making its decision.

**CONSENT CALENDAR:** Items listed on the Consent Calendar are considered to be routine by the Planning Commission and may be acted upon by one motion. There will be no separate discussion on these items unless a member of the Planning Commission, Staff, or the public so requests. In this event, the item will be removed from the Consent Calendar and considered and acted on separately.

**DECORUM:** While members of the public are free to level criticism of City policies and the action(s) or proposed action(s) of the Planning Commission or its members, members of the public may not engage in behavior that is disruptive to the orderly conduct of the proceedings, including, but not limited to, conduct that prevents other members of the audience from being heard when it is their opportunity to speak, or which prevents members of the audience from hearing or seeing the proceedings. Members of the public may not threaten any person with physical harm or act in a manner that may reasonably be interpreted as an imminent threat of physical harm. All persons attending the meeting are expected to adhere to the City's policy barring harassment based upon a person's race, religious creed, color, national origin, ancestry, physical handicap, medical condition, marital status, gender, sexual orientation, or age. The Chief of Police, or such member or members of the Police Department, may serve as the Sergeant-at-Arms of the Planning Commission meeting. The Sergeant-at-Arms shall carry out all orders and instructions given by the presiding official for the purpose of maintaining order and decorum at the meeting. Any person who violates the order and decorum of the meeting may be placed under arrest and such person may be prosecuted under the provisions of Penal Code Section 403 or applicable Arcadia Municipal Code section.



# STAFF REPORT

Development Services Department

**DATE:** November 22, 2022

**TO:** Honorable Chairman and Planning Commission

**FROM:** Lisa L. Flores, Planning & Community Development Administrator  
By: Edwin Arreola, Associate Planner

**SUBJECT:** RESOLUTION NO. 2107 – APPROVING CONDITIONAL USE PERMIT NO. CUP 22-08 FOR A NEW TATTOO SHOP AT 1010 S BALDWIN AVENUE #203  
**Recommendation: Adopt Resolution No. 2107**  
**CEQA: Categorically Exempt**

## SUMMARY

The Applicant, Everett Lara, is requesting approval of Conditional Use Permit No. CUP 22-08 to allow a new tattoo shop (dba: Arcadia Tattoo) at 1010 S. Baldwin Avenue #203. The tattoo shop will only have one (1) tattoo station. It is recommended that the Planning Commission adopt Resolution No. 2107 (Attachment No. 1) and find this project Categorical Exempt under CEQA and approve Conditional Use Permit No. CUP 22-08, subject to the conditions listed in this staff report.

## BACKGROUND

The subject site is a 21,387 square foot, interior lot located along S. Baldwin Avenue between Fairview Avenue and Arcadia Avenue. The site is surrounded by other commercial properties to the north, south, and west and a multi-family zoned property to the east (rear of the subject property) - refer to Figure No. 1 below for an aerial view of the site and Attachment No. 2 for an Aerial Photo with Zoning Information and Photos of the subject property. The site is developed with a 6,600 square foot two-story commercial building that has six (6) commercial units that was built in 1959. The existing commercial units consist of a bakery, a music school, and an acupuncture business. Three of the units are currently vacant including the subject unit. The proposed tattoo business will occupy a 500 square foot unit located on the second floor and accessed from the rear of the building. The unit was previously occupied by a home care service agency and has

been vacant since March 2022. The parking lot at the rear has 41 parking spaces, including two accessible spaces. The parking area is accessed through the adjacent parking lots on the properties to the north and south of the subject property via a reciprocal parking and access agreement.



Figure No. 1 – Aerial view of the site

## **PROPOSAL**

Currently, the Applicant works out of a tattoo shop with multiple stations in Pico Rivera and has over 15 years of experience specializing in black and gray realism tattoos. The Applicant is looking to open his own independent tattoo business within the City of Arcadia. The Applicant is currently certified by the State of California to do Bloodborne Pathogen work.

The proposed business will operate with only one tattoo station used by the Applicant and will operate from 11:00 AM to 7:00 PM, seven days a week. Customers will be served by appointment only in one-hour intervals, which will include set up, tattoo work, and sanitizing of the tattoo station.

The layout of the unit will consist of the tattoo station, a waiting area, an employee work area, and a restroom – see Figure No. 2 below for the Floor Plan and Attachment No. 3 for the Site Plan and Floor Plan. The tattoo station will be used for performing tattoos, the waiting area will be used for customers to fill out consent forms and waiting for preparation of the tattoo station, and the employee work area will be used for storing cleaning supplies and creating images and stencils.

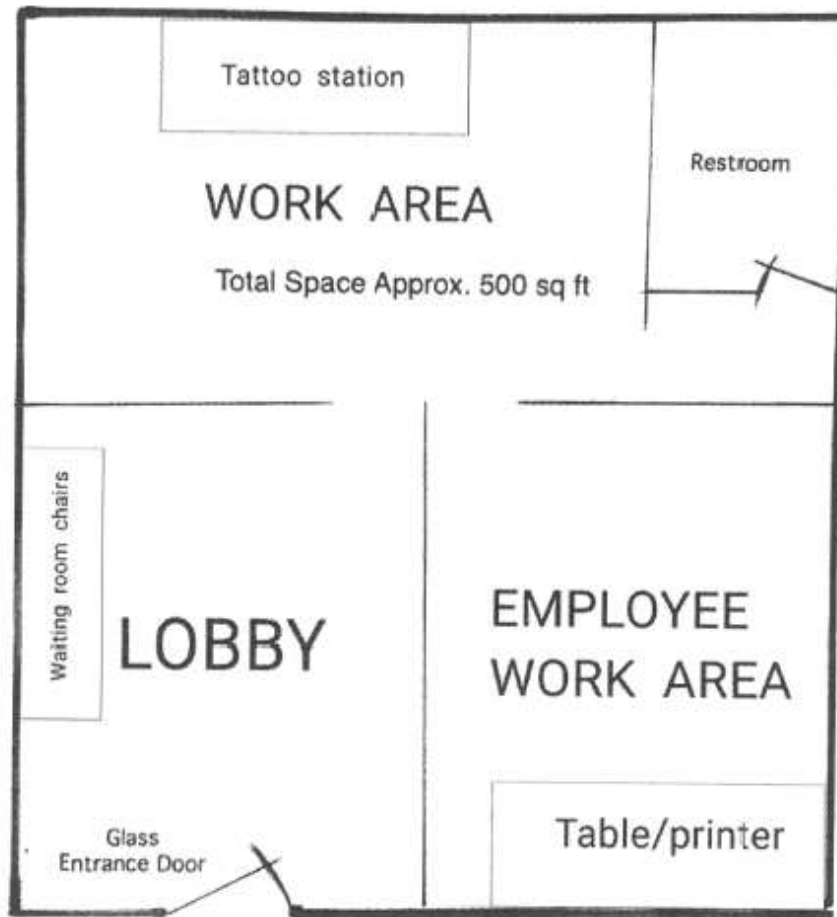


Figure No. 2 – Floor Plan

## **ANALYSIS**

The City's Development Code allows tattoo uses in the C-G zone subject to the review and approval of a Conditional Use Permit to ensure that the proposed business is an appropriate use for the property and is compatible with other uses in the surrounding area. The proposed tattoo shop is taking over a vacant tenant space. Tattoo shops, as a personal service, have a parking requirement of one (1) parking space per 200 square feet of gross floor area, which based on the unit size of 500 square feet, equates to three (3) parking spaces. The property currently has 41 parking spaces for the 6600 square feet of commercial space which is a ratio of one (1) parking space per 161 square feet of the commercial building. Thus, there is more than sufficient parking for the proposed use. Additionally, Staff has observed that parking on-site is not an issue as many spaces are usually available throughout the day.

The proposed tattoo shop will only have one tattoo station and will operate by appointment only. There are a variety of other small scale personal service businesses located along Baldwin Avenue including other tattoo shops. Therefore, the nature of the business will be compatible with the other existing businesses in the vicinity.

The City's Police Department has reviewed the request and did not have any concerns with the proposed business. In addition, Staff contacted the Los Angeles County Sheriff's Department to inquire about the Applicant's existing location in Pico Rivera, and according to their records, there were no reports of crimes, call for services, or violations for this business. The business will comply with all requirements and protocols required by the Los Angeles County Health Department.

## **FINDINGS**

Section 9107.09.050(B) of the Development Code requires that the Planning Commission may approve a Conditional Use Permit if all of the following findings can be made:

- 1. The proposed use is consistent with the General Plan and any applicable specific plan and is allowed within the applicable zone, subject to the granting of a Conditional Use Permit, and comply with all other applicable provisions of the Development Code and the Municipal Code.**

**Facts to Support This Finding:** The proposed tattoo shop will be consistent with the Arcadia General Plan which allows for a wide-range of commercial uses that serve citywide markets. The site is zoned C-G (General Commercial) which under Development Code Section 9102.03.020, Table 2-8, allows Personal Restricted Services such as the proposed tattoo use, subject to the review and approval of a Conditional Use Permit. The tattoo business will comply with all other applicable provisions of the Development Code and the Municipal Code. The use will be consistent with the intended commercial use of the property and will be required to comply with all applicable Los Angeles County Health Department requirements. Therefore, approval of a tattoo business will not adversely affect the comprehensive General Plan, and is consistent with the following General Plan policy:

### Land Use and Community Design Element

Policy LU-6.7: Encourage a balanced distribution of commercial development throughout the City, ensuring that neighborhoods and districts have adequate access to local-serving commercial uses.

- 2. The design, location, size, and operating characteristics of the proposed activity will be compatible with the existing and future land uses in the vicinity.**

**Facts to Support This Finding:** The proposed tattoo shop will occupy an existing 500 square foot unit within an existing six-unit commercial building. The proposed tattoo shop does not require any additional parking since the site is sufficiently parked. The proposed use will be compatible with the existing uses in the vicinity as it will have similar operational characteristics to other personal service businesses along Baldwin Avenue. The tattoo shop will only have one tattoo station, and will operate by an appointment only. The business will also close by 7:00 PM, which is earlier than most commercial businesses within the area. Therefore, the proposed tattoo use will not be detrimental to the existing and future land uses in the vicinity.

**3. The site is physically suitable in terms of:**

- a. Its design, location, shape, size, and operating characteristics of the proposed use in order to accommodate the use, and all fences, landscaping, loading, parking, spaces, walls, yards, and other features required to adjust the use with the land and uses in the neighborhood;**

**Facts to Support This Finding:** The business will occupy an existing 500 square foot unit on an improved site that is physically suitable to accommodate the proposed use since the tattoo shop only consist of one tattoo station. No major tenant improvements are required to accommodate the use. Tattoo shops typically are located within multi-tenant commercial centers with small tenant spaces that consists of a variety of service-based businesses that are compatible to one another. Additionally, the site is improved with ample surface parking and two ADA parking spaces to accommodate the new use and existing businesses. Therefore, the unit and site are suitable for the proposed use.

- b. Streets and highways adequate in width and pavement type to accommodate public and emergency vehicle (e.g., fire and medical) access.**

**Facts to Support This Finding:** The site is located along S. Baldwin Avenue between Fairview Avenue and Arcadia Avenue. The site has reciprocal access through the adjacent sites off of Fairview Avenue to the north and Arcadia Avenue to the south. These streets are adequate in width and pavement type to carry emergency vehicles and traffic generated by the proposed use and existing uses on the site. The proposed use will not impact these rights-of-way.

- c. Public protection services (e.g., fire protection, police protection, etc.).**

**Facts to Support This Finding:** The Fire and Police Department have reviewed the application and determined that no additional improvements are needed to provide adequate protection services to the subject site.

- d. The provision of utilities (e.g., potable water, schools, solid waste collection and disposal, storm drainage, wastewater collection, treatment, and disposal, etc.).**

**Facts to Support This Finding:** The subject property is developed with one commercial building that consists of six (6) commercial units. The Building and Fire Department have reviewed the application and determined that no additional improvements are needed to provide adequate utilities to service the site. There will be no impact to utilities or the City's infrastructure from the proposed use.

- 4. The measure of site suitability shall be required to ensure that the type, density, and intensity of use being proposed will not adversely affect the public convenience, health, interest, safety, or general welfare, constitute a nuisance,**

**or be materially injurious to the improvements, persons, property, or uses in the vicinity and zone in which the property is located.**

**Facts to Support This Finding:** The proposed tattoo shop will provide a personal service in compliance with and pursuant to the Arcadia Development Code and Arcadia Municipal Code standards. The proposed use will not be detrimental to the public health or welfare, or the surrounding properties, as the site is located on a commercial corridor with a diverse type of businesses that serve the surrounding communities. The size and nature of the proposed use will be compatible with the other existing uses in the vicinity and is not expected to affect the property or uses in the vicinity since it will only serve one customer at a time, meets the required parking, and will close by 7:00 PM, which is earlier than most commercial businesses. The business shall be subject to all of the regulations and requirements of the Los Angeles County Health Department requirements. The Arcadia Police Department reviewed the application and had no concerns. Therefore, the site is suitable for the proposed use.

### **ENVIRONMENTAL IMPACT**

It has been determined that the project qualifies as a Class 1 Categorical Exemption per the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15301 of the CEQA Guidelines for the use of an existing facility (refer to Attachment No. 4).

### **PUBLIC COMMENTS/NOTICE**

Public hearing notices for this item were mailed to the owners of those properties that are located within 300 feet of the subject property and published in the *Arcadia Weekly* on November 10, 2022. As of November 17, 2022, staff did not receive any public comments on this project.

### **RECOMMENDATION**

It is recommended that the Planning Commission adopt Resolution No. 2107 approving Conditional Use Permit No. CUP 22-08 for a new tattoo business and find that the project is Categorical Exempt under the California Environmental Quality Act (CEQA), subject to the following conditions of approval:

1. The use approved by CUP 22-08 shall be limited to a tattoo shop with one (1) station, and it shall be operated and maintained in a manner that is consistent with the approved plans and may be subject to periodic inspections to ensure that the business is operated per the approval.
2. The operating hours shall be limited to 11:00 AM to 7:00 PM, seven days a week. Any changes to the hours of operation shall be subject to review and approval by the Planning & Community Development Administrator.

3. All City requirements regarding disabled access and facilities, occupancy limits, building safety, health code compliance, emergency equipment, environmental regulation compliance, and parking and site design shall be complied with by the property owner/applicant to the satisfaction of the Building Official, City Engineer, Planning & Community Development Administrator, Fire Marshall, and Public Works Services Director, or their respective designees. The changes to the existing facility may be subject to building permits after having fully detailed plans submitted for plan check review and approval by the aforementioned City officials.
4. Noncompliance with the plans, provisions and conditions of approval for CUP 22-08 shall be grounds for immediate suspension or revocation of any approvals, which could result in termination of this CUP.
5. To the maximum extent permitted by law, the Applicant must defend, indemnify, and hold the City, any departments, agencies, divisions, boards, and/or commissions of the City, and its elected officials, officers, contractors serving as City officials, agents, employees, and attorneys of the City ("Indemnitees") harmless from liability for damages and/or claims, actions, or proceedings for damages for personal injuries, including death, and claims for property damage, and with respect to all other actions and liabilities for damages caused or alleged to have been caused by reason of the Applicant's activities in connection with Conditional Use Permit No. CUP 22-08 ("Project") on the Project site, and which may arise from the direct or indirect operations of the Applicant or those of the Applicant's contractors, agents, tenants, employees or any other persons acting on Applicant's behalf, which relate to the development and/or construction of the Project. This indemnity provision applies to all damages and claims, actions, or proceedings for damages, as described above, regardless of whether the City prepared, supplied, or approved the plans, specifications, or other documents for the Project.

In the event of any legal action challenging the validity, applicability, or interpretation of any provision of this approval, or any other supporting document relating to the Project, the City will promptly notify the Applicant of the claim, action, or proceedings and will fully cooperate in the defense of the matter. Once notified, the Applicant must indemnify, defend and hold harmless the Indemnitees, and each of them, with respect to all liability, costs and expenses incurred by, and/or awarded against, the City or any of the Indemnitees in relation to such action. Within 15 days' notice from the City of any such action, Applicant shall provide to City a cash deposit to cover legal fees, costs, and expenses incurred by City in connection with defense of any legal action in an initial amount to be reasonably determined by the City Attorney. City may draw funds from the deposit for such fees, costs, and expenses. Within 5 business days of each and every notice from City that the deposit has fallen below the initial amount, Applicant shall replenish the deposit each and every time in order for City's legal team to continue working on the matter. City shall only refund to Developer any unexpended funds from the deposit within 30 days of: (i) a final, non-appealable decision by a court of competent jurisdiction resolving the legal action; or (ii) full and complete settlement of legal action. The City shall have the right to select legal

counsel of its choice that the Applicant reasonably approves. The parties hereby agree to cooperate in defending such action. The City will not voluntarily assist in any such third-party challenge(s) or take any position adverse to the Applicant in connection with such third-party challenge(s). In consideration for approval of the Project, this condition shall remain in effect if the entitlement(s) related to this Project is rescinded or revoked, whether or not at the request of the Applicant.

6. Approval of CUP 22-08 shall not be in effect unless the Property Owner and Applicant have executed and filed the Acceptance Form with the City on or before 30 calendar days after the Planning Commission has adopted the Resolution. The Acceptance Form to the Development Services Department is to indicate awareness and acceptance of the conditions of approval.

### **PLANNING COMMISSION ACTION**

#### Approval

If the Planning Commission intends to approve this proposal, the Commission should approve a motion to approve Conditional Use Permit No. CUP 22-08, stating that the proposal satisfies the requisite findings, and adopting the attached Resolution No. 2107 that incorporates the requisite environmental and Conditional Use Permit findings and the conditions of approval as presented in this staff report, or as modified by the Commission.

#### Denial

If the Planning Commission intends to deny this proposal, the Commission should approve a motion to deny Conditional Use Permit No. CUP 22-08, stating that the finding(s) of the proposal does not satisfy with reasons based on the record, and direct staff to prepare a resolution for adoption at the next meeting that incorporates the Commission's decision and specific findings.

If any Planning Commissioner or other interested party has any questions or comments regarding this matter prior to the November 22, 2022 hearing, please contact Associate Planner, Edwin Arreola, at (626) 821-4334, or by email at [earreola@ArcadiaCA.gov](mailto:earreola@ArcadiaCA.gov).

Approved:



Lisa L. Flores  
Planning & Community Development Administrator

Attachment No. 1: Resolution No. 2107

Attachment No. 2: Aerial Photo and Zoning Information and Photos of the Subject Property

Attachment No. 3: Site Plan and Floor Plan

Attachment No. 4: Preliminary Exemption Assessment

# Attachment No. 1

Resolution No. 2107

RESOLUTION NO. 2107

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ARCADIA, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT NO. CUP 22-08 WITH A CATEGORICAL EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (“CEQA”) FOR A NEW TATTOO SHOP AT 1010 S BALDWIN AVENUE #203

WHEREAS, on September 22, 2022, an application for Conditional Use Permit No. CUP 22-08 was filed by the business owner, Everett Lara (“Applicant”), to allow a new tattoo shop within a unit of an existing multi-tenant commercial building located at 1010 S. Baldwin Avenue #203; and

WHEREAS, on November 7, 2022, Planning Services completed an environmental assessment for the tattoo shop in accordance with the California Environmental Quality Act (“CEQA”) and determined that the tattoo shop is exempt under Class 1, Section 15301 of the CEQA Guidelines pertaining to the use of an existing facility; and

WHEREAS, on November 22, 2022, a duly noticed public hearing was held before the Planning Commission on said application, at which time all interested persons were given full opportunity to be heard and to present evidence.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF ARCADIA, CALIFORNIA, HEREBY RESOLVES AS FOLLOWS:

SECTION 1. The factual data submitted by the Community Development Division in the staff report dated November 22, 2022 are true and correct.

SECTION 2. This Commission finds that based upon the entire record, pursuant to Section 9107.09.050 of the Arcadia Development Code, all of the following findings can be made.

1. The proposed use is consistent with the General Plan and any applicable specific plan and is allowed within the applicable zone, subject to the granting of a Conditional Use Permit, and comply with all other applicable provisions of the Development Code and the Municipal Code.

FACT: The proposed tattoo shop will be consistent with the Arcadia General Plan which allows for a wide range of commercial uses that serve citywide markets. The site is zoned C-G (General Commercial) which under Development Code Section 9102.03.020, Table 2-8, allows Personal Restricted Services such as the proposed tattoo use, subject to the review and approval of a Conditional Use Permit. The tattoo business will comply with all other applicable provisions of the Development Code and the Municipal Code. The use will be consistent with the intended commercial use of the property and will be required to comply with all applicable Los Angeles County Health Department requirements. Therefore, approval of a tattoo business will not adversely affect the comprehensive General Plan, and is consistent with the following General Plan policy:

Land Use and Community Design Element

Policy LU-6.7: Encourage a balanced distribution of commercial development throughout the City, ensuring that neighborhoods and districts have adequate access to local-serving commercial uses.

2. The design, location, size, and operating characteristics of the proposed activity will be compatible with the existing and future land uses in the vicinity.

FACT: The proposed tattoo shop will occupy an existing 500 square foot unit within an existing six-unit commercial building. The proposed tattoo shop does not require any

additional parking since the site is sufficiently parked. The proposed use will be compatible with the existing uses in the vicinity as it will have similar operational characteristics to other personal service businesses along Baldwin Avenue. The tattoo shop will only have one tattoo station and will operate by an appointment only. The business will also close by 7:00 PM, which is earlier than most commercial businesses within the area. Therefore, the proposed tattoo use will not be detrimental to the existing and future land uses in the vicinity.

3. The site is physically suitable in terms of:

a. Its design, location, shape, size, and operating characteristics of the proposed use in order to accommodate the use, and all fences, landscaping, loading, parking, spaces, walls, yards, and other features required to adjust the use with the land and uses in the neighborhood;

FACT: The business will occupy an existing 500 square foot unit on an improved site that is physically suitable to accommodate the proposed use since the tattoo shop only consists of one tattoo station. No major tenant improvements are required to accommodate the use. Tattoo shops typically are located within multi-tenant commercial centers with small tenant spaces that consist of a variety of service-based businesses that are compatible with one another. Additionally, the site is improved with ample surface parking and two ADA parking spaces to accommodate the new use and existing businesses. Therefore, the unit and site are suitable for the proposed use.

b. Streets and highways adequate in width and pavement type to accommodate public and emergency vehicle (e.g., fire and medical) access;

FACT: The site is located along S. Baldwin Avenue between Fairview Avenue and Arcadia Avenue. The site has reciprocal access through the adjacent sites off of Fairview Avenue to the north and Arcadia Avenue to the south. These streets are adequate in width and pavement type to carry emergency vehicles and traffic generated by the proposed use and existing uses on the site. The proposed use will not impact these rights-of-way.

c. Public protection services (e.g., fire protection, police protection, etc.); and

FACT: The Fire and Police Department have reviewed the application and determined that no additional improvements are needed to provide adequate protection services to the subject site.

d. The provision of utilities (e.g., potable water, schools, solid waste collection and disposal, storm drainage, wastewater collection, treatment, and disposal, etc.).

FACT: The subject property is developed with one commercial building that consists of six (6) commercial units. The Building and Fire Department have reviewed the application and determined that no additional improvements are needed to provide adequate utilities to service the site. There will be no impact to utilities or the City's infrastructure from the proposed use.

4. The measure of site suitability shall be required to ensure that the type, density, and intensity of use being proposed will not adversely affect the public convenience, health, interest, safety, or general welfare, constitute a nuisance, or be materially injurious to the improvements, persons, property, or uses in the vicinity and zone in which the property is located.

FACT: The proposed tattoo shop will provide a personal service in compliance with and pursuant to the Arcadia Development Code and Arcadia Municipal Code standards.

The proposed use will not be detrimental to the public health or welfare, or the surrounding properties, as the site is located on a commercial corridor with a diverse type of businesses that serve the surrounding communities. The size and nature of the proposed use will be compatible with the other existing uses in the vicinity and is not expected to affect the property or uses in the vicinity since it will only serve one customer at a time, meets the required parking, and will close by 7:00 PM, which is earlier than most commercial businesses. The business shall be subject to all of the regulations and requirements of the Los Angeles County Health Department requirements. The Arcadia Police Department reviewed the application and had no concerns. Therefore, the site is suitable for the proposed use.

SECTION 3. The proposed tattoo shop is Categorical Exempt from the California Environmental Quality Act (CEQA) pursuant to Class 1, Section 15301, of the CEQA Guidelines pertaining to the use of an existing facility.

SECTION 4. For the foregoing reasons the Planning Commission determines that the tattoo shop is Categorical Exempt per Class 1, Section 15301 of the California Environmental Quality Act (CEQA) Guidelines and approves Conditional Use Permit No. CUP 22-08 to allow a new tattoo shop within a 500 square foot unit of an existing multi-tenant commercial building at 1010 S. Baldwin Avenue #203, subject to the conditions of approval attached hereto.

SECTION 5. The Secretary shall certify to the adoption of this Resolution.

Passed, approved and adopted this 22<sup>nd</sup> day of November 2022.

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Brad Thompson  
Chair, Planning Commission

ATTEST:

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Lisa L. Flores  
Secretary

APPROVED AS TO FORM:

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Stephen P. Deitsch  
City Attorney

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## RESOLUTION NO. 2107

### **Conditions of Approval**

1. The use approved by CUP 22-08 shall be limited to a tattoo shop with one (1) station, and it shall be operated and maintained in a manner that is consistent with the approved plans and may be subject to periodic inspections to ensure that the business is operated per the approval.
2. The operating hours shall be limited to 11:00 AM to 7:00 PM, seven days a week. Any changes to the hours of operation shall be subject to review and approval by the Planning & Community Development Administrator.
3. All City requirements regarding disabled access and facilities, occupancy limits, building safety, health code compliance, emergency equipment, environmental regulation compliance, and parking and site design shall be complied with by the property owner/applicant to the satisfaction of the Building Official, City Engineer, Planning & Community Development Administrator, Fire Marshall, and Public Works Services Director, or their respective designees. The changes to the existing facility may be subject to building permits after having fully detailed plans submitted for plan check review and approval by the aforementioned City officials.
4. Noncompliance with the plans, provisions and conditions of approval for CUP 22-08 shall be grounds for immediate suspension or revocation of any approvals, which could result in termination of this CUP.
5. To the maximum extent permitted by law, the Applicant must defend, indemnify, and hold the City, any departments, agencies, divisions, boards, and/or commissions of the City, and its elected officials, officers, contractors serving as City officials, agents, employees, and attorneys of the City ("Indemnitees") harmless from liability for damages and/or claims, actions, or proceedings for damages for personal injuries, including death, and claims for property damage, and with respect to all other actions and liabilities for damages caused or alleged to have been caused by reason of the Applicant's activities in connection with Conditional Use Permit No. CUP 22-08 ("Project") on the Project site, and which may arise from the direct or indirect operations of the Applicant or those of the Applicant's contractors, agents, tenants, employees or any other persons acting on Applicant's behalf, which relate to the development and/or construction of the Project. This indemnity provision applies to all damages and claims, actions, or proceedings for damages, as described above, regardless of whether the City prepared, supplied, or approved the plans, specifications, or other documents for the Project.

In the event of any legal action challenging the validity, applicability, or interpretation of any provision of this approval, or any other supporting document relating to the Project, the City will promptly notify the Applicant of the claim, action, or proceedings and will fully cooperate in the defense of the matter. Once notified, the Applicant must

indemnify, defend and hold harmless the Indemnitees, and each of them, with respect to all liability, costs and expenses incurred by, and/or awarded against, the City or any of the Indemnitees in relation to such action. Within 15 days' notice from the City of any such action, Applicant shall provide to City a cash deposit to cover legal fees, costs, and expenses incurred by City in connection with defense of any legal action in an initial amount to be reasonably determined by the City Attorney. City may draw funds from the deposit for such fees, costs, and expenses. Within 5 business days of each and every notice from City that the deposit has fallen below the initial amount, Applicant shall replenish the deposit each and every time in order for City's legal team to continue working on the matter. City shall only refund to Developer any unexpended funds from the deposit within 30 days of: (i) a final, non-appealable decision by a court of competent jurisdiction resolving the legal action; or (ii) full and complete settlement of legal action. The City shall have the right to select legal counsel of its choice that the Applicant reasonably approves. The parties hereby agree to cooperate in defending such action. The City will not voluntarily assist in any such third-party challenge(s) or take any position adverse to the Applicant in connection with such third-party challenge(s). In consideration for approval of the Project, this condition shall remain in effect if the entitlement(s) related to this Project is rescinded or revoked, whether or not at the request of the Applicant.

6. Approval of CUP 22-08 shall not be in effect unless the Property Owner and Applicant have executed and filed the Acceptance Form with the City on or before 30 calendar days after the Planning Commission has adopted the Resolution. The Acceptance Form to the Development Services Department is to indicate awareness and acceptance of the conditions of approval.

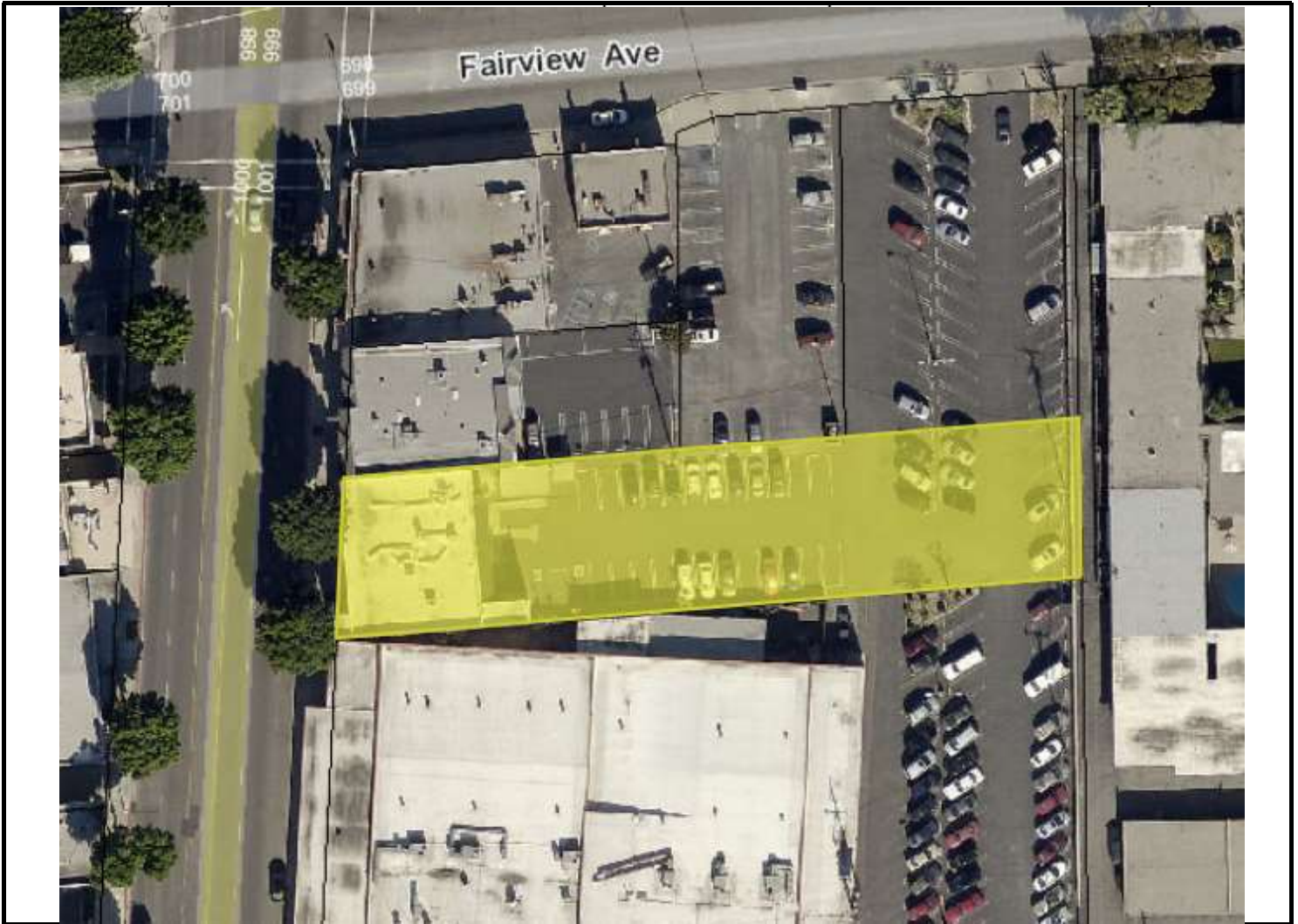
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# Attachment No. 2

Aerial Photo and Zoning Information and  
Photos of the Subject Property

**Site Address: 1010 S BALDWIN AVE**

**Property Owner(s): Property Owner**

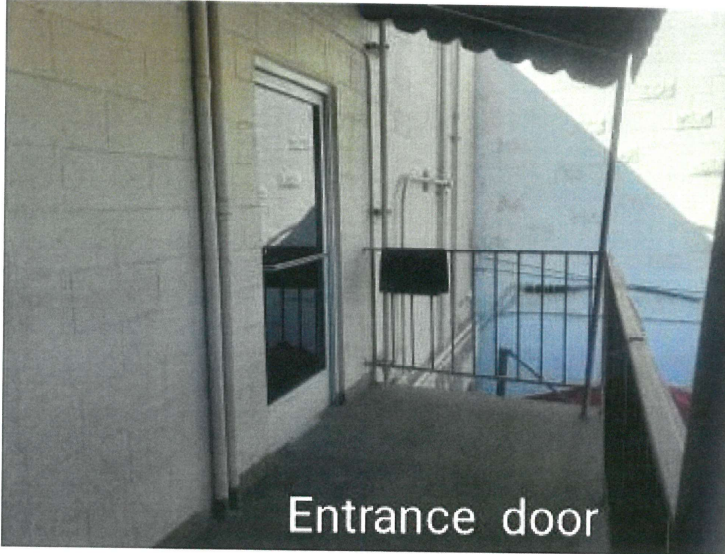


Property Characteristics	
<b>Zoning:</b>	C-G
<b>General Plan:</b>	C
<b>Lot Area (sq ft):</b>	
<b>Main Structure / Unit (sq. ft.):</b>	6,909
<b>Year Built:</b>	1959
<b>Number of Units:</b>	0
Overlays	
<b>Architectural Design Overlay:</b>	N/A
<b>Downtown Overlay:</b>	N/A
<b>Downtown Parking Overlay:</b>	N/A
<b>Parking Overlay:</b>	Yes
<b>Racetrack Event Overlay:</b>	N/A
<b>Residential Flex Overlay:</b>	N/A
<b>Special Height Overlay:</b>	N/A

Selected parcel highlighted



Parcel location within City of Arcadia

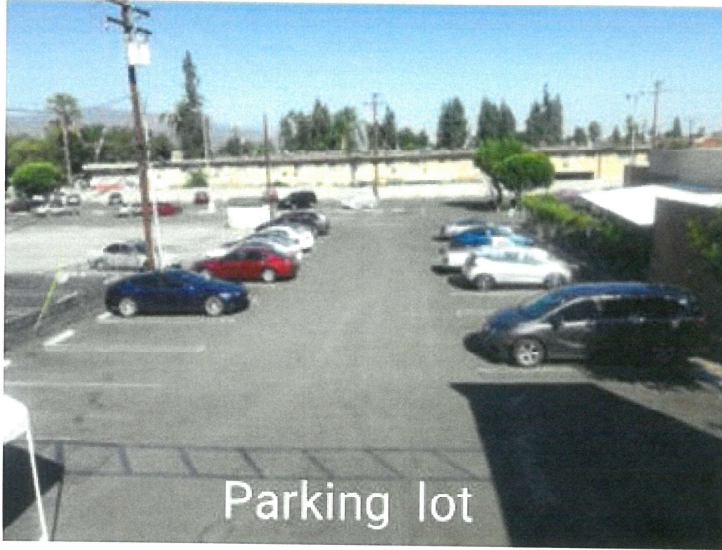


Entrance door

BACK ACCESS ONLY



Staircase



Parking lot



Parking lot  
(facing building)

1010 S. BALDWIN AVE. SUITE# 203, ARCADIA CA. 91007



Lobby

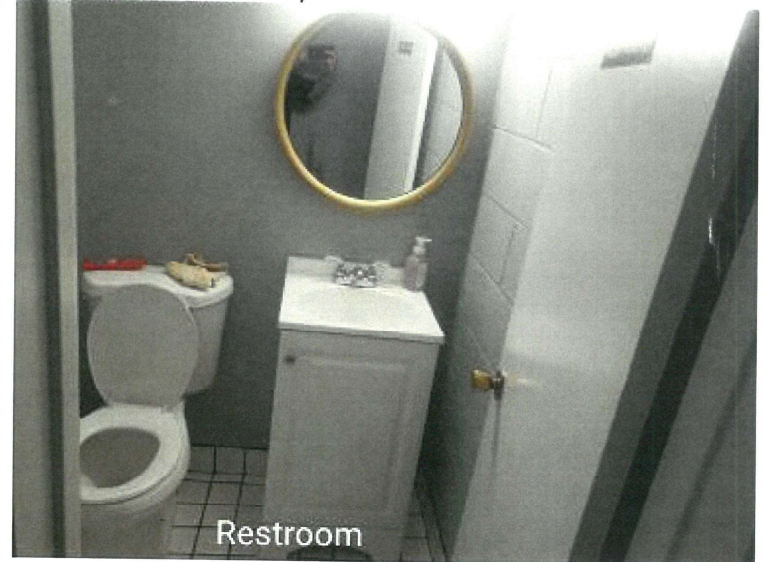


Work area

(ALL ITEMS INSIDE ARE PRIOR TENANTS)



Employee work area

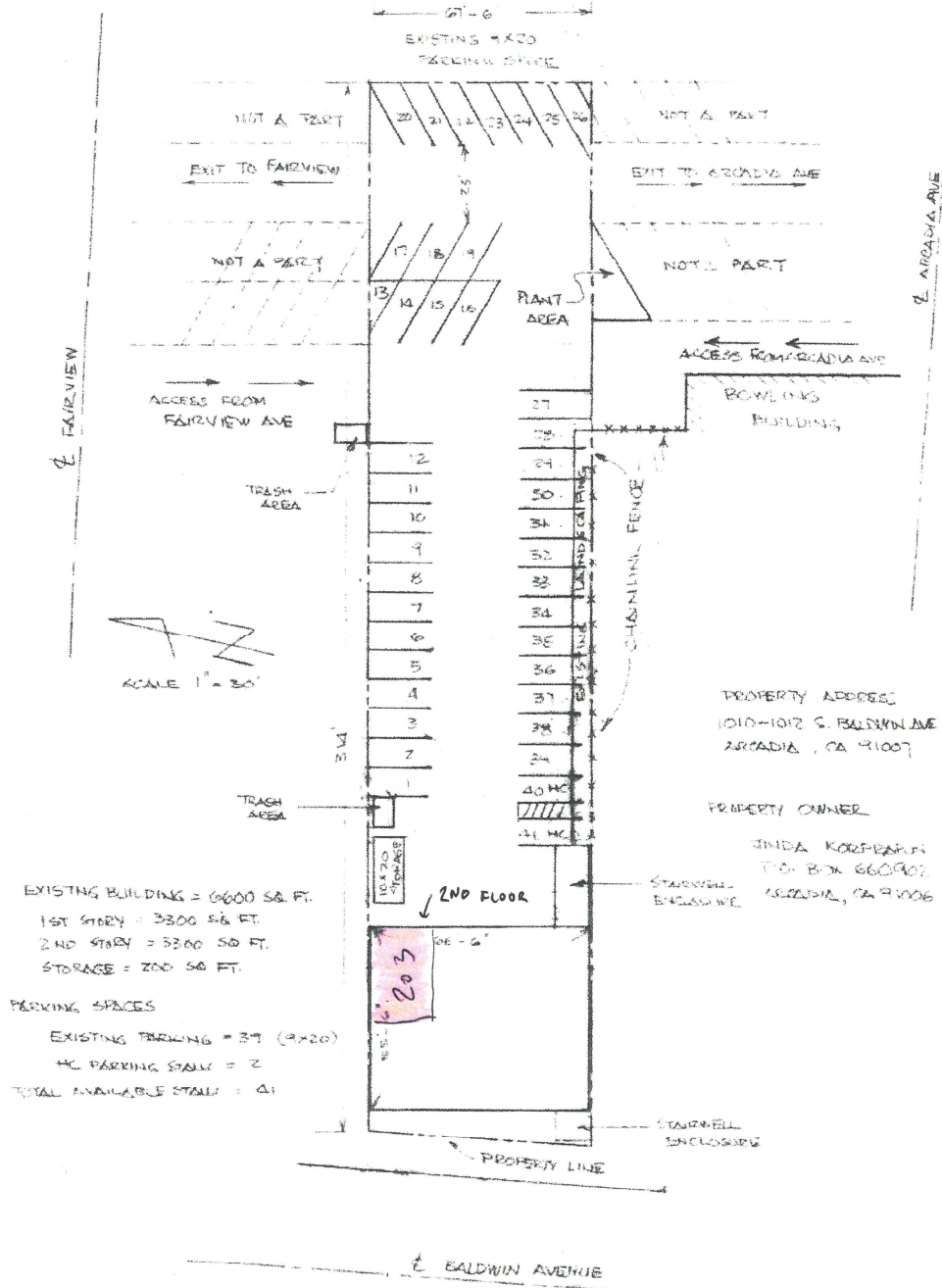


Restroom

# Attachment No. 3

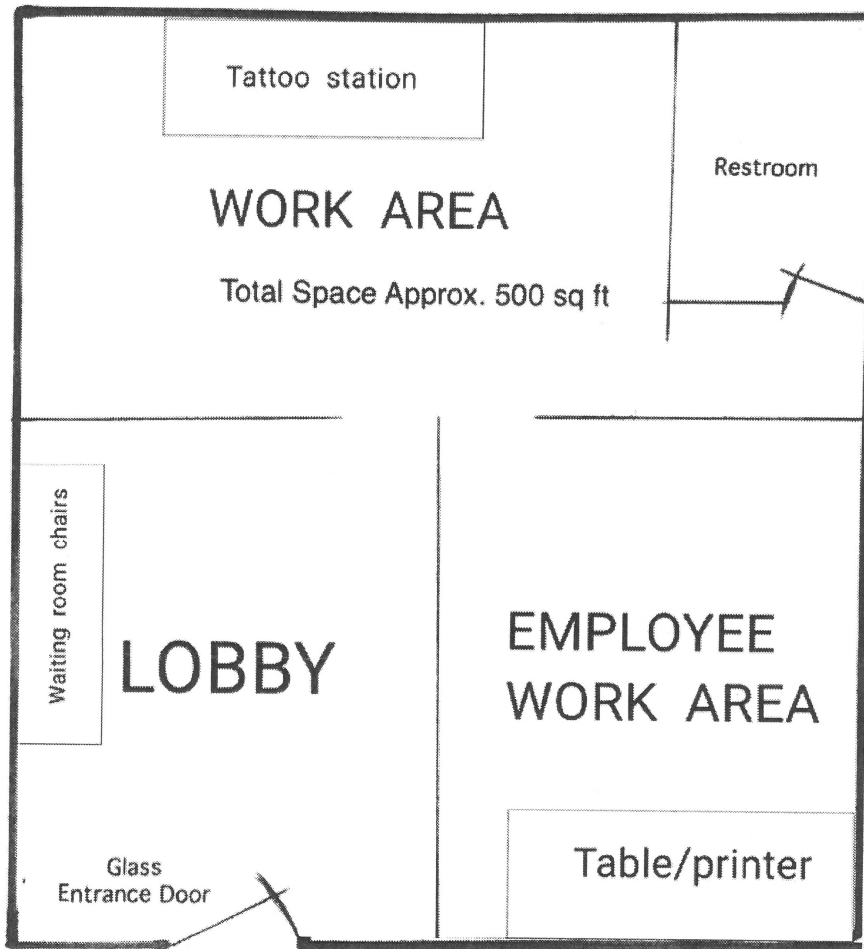
## Site Plan and Floor Plan

1010 S. BALDWIN AVE., SUITE #203, ARCADIA, CA 91007



**RECEIVED**  
 SEP 22 2022  
 Planning Services  
 City of Arcadia

1010 S. BALDWIN AVE., SUITE #203, ARCADIA, CA 91007



# Attachment No. 4

## Preliminary Exemption Assessment



CITY OF  
ARCADIA

## PRELIMINARY EXEMPTION ASSESSMENT

1. Name or description of project:	CUP 22-08 Conditional Use Permit with a Categorical Exemption under the California Environmental Quality Act ("CEQA") Section 15301(a) to allow a new tattoo shop.	
2. Project Location – Identify street address and cross streets or attach a map showing project site (preferably a USGS 15' or 7 1/2' topographical map identified by quadrangle name):	1010 S. Baldwin Avenue #203 – The business is located along S. Baldwin Avenue between Fairview Avenue and Arcadia Avenue.	
3. Entity or person undertaking project:	A.	
	B. Other (Private)	
	(1) Name	Everett Lara, Business Owner
	(2) Address	10660 Daines Drive Temple City, CA 91780
4. Staff Determination:	<p>The Lead Agency's Staff, having undertaken and completed a preliminary review of this project in accordance with the Lead Agency's "Local Guidelines for Implementing the California Environmental Quality Act (CEQA)" has concluded that this project does not require further environmental assessment because:</p>	
a. <input type="checkbox"/>	The proposed action does not constitute a project under CEQA.	
b. <input type="checkbox"/>	The project is a Ministerial Project.	
c. <input type="checkbox"/>	The project is an Emergency Project.	
d. <input type="checkbox"/>	The project constitutes a feasibility or planning study.	
e. <input checked="" type="checkbox"/>	The project is categorically exempt.	
	Applicable Exemption Class:	15301(a) – Class 1 (Use of an existing facility)
f. <input type="checkbox"/>	The project is statutorily exempt.	
	Applicable Exemption:	
g. <input type="checkbox"/>	The project is otherwise exempt on the following basis:	
h. <input type="checkbox"/>	The project involves another public agency which constitutes the Lead Agency.	
	Name of Lead Agency:	

Date: November 3, 2022

Staff: Edwin Arreola, Associate Planner



# STAFF REPORT

Development Services Department

**DATE:** November 22, 2022

**TO:** Honorable Chair and Planning Commission

**FROM:** Lisa L. Flores, Planning & Community Development Administrator  
By: Fiona Graham, Planning Services Manager

**SUBJECT:** RESOLUTION NO. 2106 – APPEAL NO. HOA 22-05 APPEALING THE SANTA ANITA OAKS HOMEOWNER’S ASSOCIATION’S DECISION OF A NEW TWO-STORY, CAPE COD STYLE HOME WITH AN ATTACHED FOUR-CAR GARAGE AT 1225 OAKLAWN ROAD  
**Recommendation: Adopt and Deny the Appeal**  
**CEQA: Categorically Exempt**

## **SUMMARY**

The Appellants, Shirly Chi (owner of 1215 Oaklawn Road), Jill and Steve Hisey (owners of 515 Arbolada Drive), Feizhi Chen and Angela P. Lin (owner of 521 Arbolada Drive), Dr. Gary and Karen Jacobsen (owners of 1201 Oaklawn Road), Maurice and Beverly Stewart (owners of 1212 Oaklawn Road), Drs. Hymavathi and Narandranath Reddy (owners of 1220 Oaklawn Road), and Dr. David and Keppie Sullivan (owners of 1320 Oaklawn Road), are appealing the Santa Anita Oaks Homeowner’s Association Architectural Review Board (ARB) approval for a new 6,138 square foot, two-story, Cape Cod style residence with an attached four-car garage, and several covered porches totaling 1,075 square feet at 1225 Oaklawn Road. It is recommended that the Planning Commission adopt Resolution No. 2106, thereby denying the appeal and upholding the Santa Anita Oaks ARB’s decision.

## **BACKGROUND**

The subject property is a 21,243 square foot interior lot that is located in the Santa Anita Oaks Homeowner’s Association area. The property is zoned R-0, Very Low Density Residential, and the General Plan land use designation is Residential. Surrounding properties are zoned R-0 and consist of one and two-story homes on this street. The property currently has an existing 2,595 square foot, one-story house built in 1951 - refer to Attachment No. 2 for an Aerial Photo with Zoning Information and Photos of the Subject Property and Surrounding Properties.

A Certificate of Demolition was approved in May 2016 as part of a previous proposal on the property. The evaluation by an Architectural Historian found that the existing residence has no historical significance because it is common in type and style.

On January 10, 2022, the Applicant's Architect Philip Chan filed a regular review application with the ARB for a new home on behalf of the property owners, Yaping Zhu, Dawen Gao, and Yan Zhao.

According to the meeting minutes that were provided by the ARB (refer to Attachment No. 4), a total of four (4) residents attended the first ARB hearing on July 21, 2022, and six (6) residents attended the second hearing on September 13, 2022. Some of their main concerns had to do with the fact the residents did not want a two-story residence in their neighborhood, the proposed architectural style is still too massive and out of scale with the other homes in the neighborhood, and potential privacy issues for the house located next door, to the south, at 1215 Oaklawn Road.

The minutes also mentioned the changes that the Architect made to the house to address the neighbors and ARB concerns, and those changes were:

1. Changed the architectural style of the two-story house from Tudor to Cape Cod to help screen the second floor.
2. Reduced the second-floor area from 75% of the first-floor area to 52%, as shown on the current plans.
3. Provided greater second story setbacks to reduce the overall mass of the house.
4. Reduced the size of the second story windows on the south façade.
5. Shifted the second floor toward the back half of the house.
6. Reduced and simplified the front yard hardscape.

After several rounds of comments and two public hearings, the ARB conditionally approved the new residence with a 3-2 vote at their September 13, 2022, hearing – refer to Attachment No. 4 – ARB Findings and Action Report. A total of six (6) conditions of approval were placed on the project by the ARB, and they were:

1. Reduce size of pilasters in the front yard and remove the lights
2. Provide detail on the landscape plan of the proposed plantings
3. Remove the spillway to the pool
4. Replace demolished fence with a vinyl fence at the easement line that is located at rear of property
5. Remove the rear deck
6. Remove the balcony for privacy reasons

The most recent version of the plans, which can be seen in Attachment No. 5, reflects all the changes per the conditions of approval.

On September 26, 2022, and within the 10-day appeal period, the Appellants, Shirley Chi (owner of 1215 Oaklawn Road), Jill and Steve Hisey (owners of 515 Arbolada Drive), Feizhi Chen and Angela P. Lin (owner of 521 Arbolada Drive), Dr. Gary and Karen Jacobsen (owners of 1201 Oaklawn Road), Maurice and Beverly Stewart (owners of 1212 Oaklawn Road), Drs. Hymavathi and Narandranath Reddy (owners of 1220 Oaklawn Road), and Dr. David and Keppie Sullivan (owners of 1320 Oaklawn Road), filed an appeal of the ARB's approval of the new house.

The appeal states that the Appellants disagree with the ARB's decision since many of the findings could not be made, and that the home is inconsistent with the neighborhood with regard to mass, scale, and architectural style. Additionally, the property owner at 1215 Oaklawn Road has expressed concerns about the potential loss of privacy and views – refer to Attachment No. 3 – Appeal letter.

### **SANTA ANITA OAKS ARB'S APPROVAL**

The ARB approved a two-story, 6,138 square foot, two-story Cape Cod style single family residence. The residence will have five bedrooms, five-and-a-half bathrooms, and a 926 square foot attached four-car garage. See Figure 1, below, for an architectural rendering of the proposed house.



**Figure 1:** Architectural rendering of the proposed house as seen from Oaklawn Road

The first floor will be approximately 4,047 square feet (excluding the garage) and consists of: a foyer, library, great room, kitchen with a pantry and wok kitchen, family room with a wet bar and wine cellar, elevator shaft and staircase providing access to the second story, a guest powder room, two bedrooms each with a closet and bathroom, home theater, and a laundry room.

The second story will be 2,091 square feet and consists of two bedrooms each with a closet and bathroom, a master suite with walk-in-closet and bathroom, an open den/loft, elevator, and high-ceiling areas open to the first story below.

Overall, the proposal does not exceed the maximum allowable Floor Area Ratio (FAR) of 6,798 square feet or the maximum lot coverage, as shown in the table below.

The table below outlines the project specifications.

	<b>Development Standards</b>	<b>Approved</b>
<b>Floor Area Ratio:</b>	6,798 square feet maximum (32%)	6,470 square feet
<b>Lot Coverage:</b>	7,435 square feet (35%)	6,078 square feet
<b><u>Setbacks:</u></b>		
<b>Front</b>	50' minimum (average of adjacent lots)	55'-5"
<b>Side</b>	10'-4" (1 <sup>st</sup> floor)	11' (north) 10'-4" (south)
	20'-7" (2 <sup>nd</sup> floor)	22'-1" (north) 26'-6" (south)
<b>Rear</b>	35' (1 <sup>st</sup> floor) 35' (2 <sup>nd</sup> floor)	59'-7" 63'-8"
<b>Height:</b>	30' maximum	26'-6"

The proposed front yard landscaping would include a new circular driveway and a paved pedestrian path. Three (3) existing mature oak trees will remain, while the new turf, mulch and plants will be installed underneath and around the driplines of the oak trees. New planting is proposed along both side and the rear property boundary. None of the protected trees will be removed. A Protected Tree Encroachment Permit will be required for the three (3) oak trees in the front yard. A preliminary arborist's report (refer to Attachment No. 6) states that the construction of a new home will have minimal impact on one of the oak trees that's not in the best health (tree no. 3), but it is expected to survive in its existing health if the protection measures are followed. Since the report did not include any measures, a complete Arborist report will be required, and the Applicant

has to comply with all the measures and replace the oak tree if it does not survive – refer to condition no. 3.

### **DESIGN REVIEW AUTHORITY**

City Council Resolution No. 7272 clearly establishes Homeowners Association (HOA) specific development standards and design review procedures that apply to the properties within the five City-designated Homeowners' Association areas. City Council Resolution No. 7272 establishes, among other things, an ARB's design review authority for both "regular" and "short" review processes. Section 4.A.1 of Resolution No. 7272 specifies that the ARB shall have the authority to review and approve new structures, additions, alterations, or other façade improvements to existing structures. Section 5.B of Resolution No. 7272 sets forth standards for ARB decisions and appeals, and further establishes that the decisions of the ARB and any decision-making body hearing an appeal of an ARB decision shall be in accordance with Division 7 and 8 of the Development Code.

#### **2010 Arcadia General Plan**

The 2010 Arcadia General Plan Land Use and Community Design Element establishes the significance of urban design and neighborhood character to residents of Arcadia. According to the Arcadia General Plan, the City's character and amenities make Arcadia a very desirable place to live. One of the guiding principles of the Land Use and Community Design Element is that Arcadia's single-family and multifamily residential neighborhoods have given the City its identity as a *Community of Homes*. The City protects and preserves the character and quality of its neighborhoods by requiring harmonious design, careful planning, and the integration of sustainable principles. Further, the Land Use and Community Design Element contains specific policies related single-family development.

Relevant polices related to the project include:

- Policy LU-3.1: Protect the character of single-family residential neighborhoods through the preservation and improvement of their character-defining features. Such features include but are not limited to tree-lined streets, building orientation, sidewalks, and architectural scale and quality.
- Policy LU-3.5: Require that new construction, additions, renovations, and infill developments be sensitive to neighborhood context, building forms, scale, and colors.
- Policy LU-3.7: Ensure that the design and scale of new and remodeled single-family residential buildings are appropriate to their context.

## **Design Guidelines**

Consistent with the Land Use and Community Design Elements goals and policies, City Council Resolution No. 7272 sets forth the City's Single-Family Residential Design Guidelines, which apply to all new construction and remodeling of single-family houses. The Single Family Design Guidelines contain specific guidelines related to the development of new homes, including:

- **Site Planning**
  - Guideline 1a. The location, configuration, size, and design of new buildings and structures, or the alteration or enlargement of existing structures, should be visually harmonious with their respective sites and compatible with the character and quality of their surroundings.
  
- **Forms and Mass**
  - Guideline 2g. Building elements that emphasize a structure's verticality are generally discouraged.
  - Guideline 2i. Where a new second-story home or addition is proposed within a predominantly one-story neighborhood, second story massing should be located to the rear or side of a home to minimize the appearance of the second story.
  - Guideline 2j. Proposed height and bulk should respect existing structures on neighboring properties and not overwhelm them with disproportionate size and scale.
  
- **Frontage Conditions**
  - Guideline 3c. Homes should not have significantly greater height and bulk at the front of a property than that of adjacent homes.
  
- **Height, Bulk and Scale**
  - Guideline 6d. Second floor massing should be stepped back to minimize impacts on adjacent neighbors and the streetscape.
  - Guideline 6f. Proposed first and second floor plate heights should consider existing plate heights established within the immediate neighborhood.

### Santa Anita Oaks ARB Findings

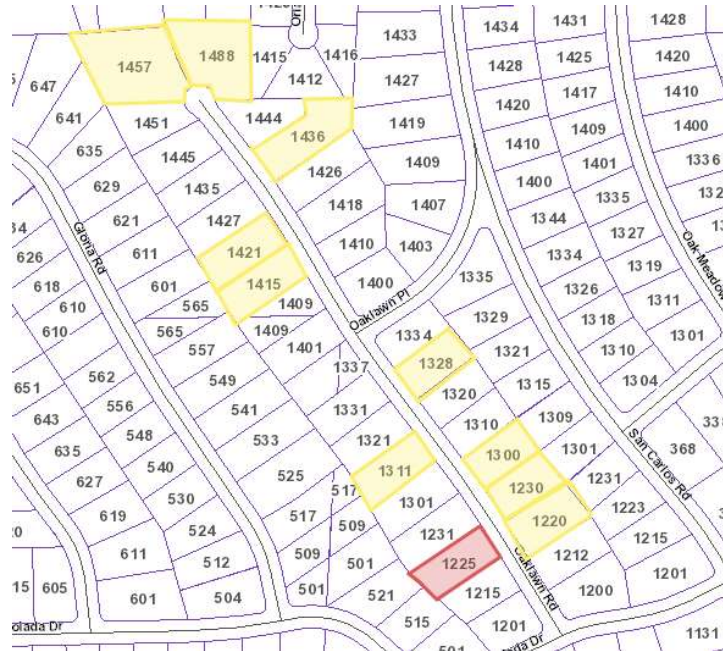
In their approval, a majority of the ARB members were in favor of the project and found the new house to be consistent with the surrounding neighborhood in terms of mass, scale and architectural style, has sufficient articulation, and has appropriate landscaping, while the dissenting board members found the project to be inconsistent with the Single Family Design Guidelines due to massing, height, and scale and that the proposed two-story home would not complement the neighborhood and would tower 15 feet over the adjacent home – refer to Attachment No. 4 - Findings and Action Report, dated September 13, 2022.

The ARB did not have any concerns regarding the garage, driveway, and consistency of the windows, doors, roofline and façade details with the chosen architectural style.

### ANALYSIS

The Appellants have stated that the new house should be denied for the following reasons: 1) The overall mass, scale, and Cape Cod architectural style of the house are not consistent with the immediate streetscape; 2) The ARB did not adhere to the findings in the Development Code that requires the ARB to make all the necessary findings; 3) The development is inconsistent with the City's adopted design guidelines; and 4) The proposed residence will cause a loss of privacy and view to the neighbors, particularly to the property directly south of the subject site.

The adjacent properties to the north and south – 1231 and 1215 Oaklawn Road, respectively – are both single story Ranch houses. Opposite the subject site are various houses consisting of one-story Ranch houses and two-story homes that have been remodeled or, in the case of 1300 Oaklawn Road, were newly constructed, and 1311 Oaklawn Road which was recently approved. More broadly, Oaklawn Road contains a total of 34 homes, most of which were built between 1950 and 1952, and predominately consists of single-story Ranch houses. Some original homes have been remodeled to include a second story, either retaining the original Ranch architectural style, or incorporating a new architectural style. The street also contains newer houses of varying architectural styles. Although Oaklawn Road has a strong predominance of single-story Ranch houses, the newer two-story homes are found throughout the street and reflect a variety of architectural styles and massing such that the proposed house would not be inconsistent with the streetscape. The proposed house would be the first Cape Cod style home on Oaklawn Road. See Figure 2, below, for a map identifying two-story houses in the street.



**Figure 2:** Location of two-story homes on Oaklawn Road. The subject property is highlighted in red.

With respect to the massing of the proposed house, the second story has been adequately stepped back from the front and sides of the proposed first story and is not visually dominant. The visual massing of the home is minimized by setting the second floor back 8'-3" from the first floor and by placing the second story within the roof along the front of the home, while the majority of the second story is setback at least 76 feet front the front property line and is "hidden" behind the front roof. Furthermore, the existing large mature oak trees that will remain substantially screens the home from the street, as shown below in Figure 3.



**Figure 3:** View from the street. The existing large oak trees will help screen the new house.

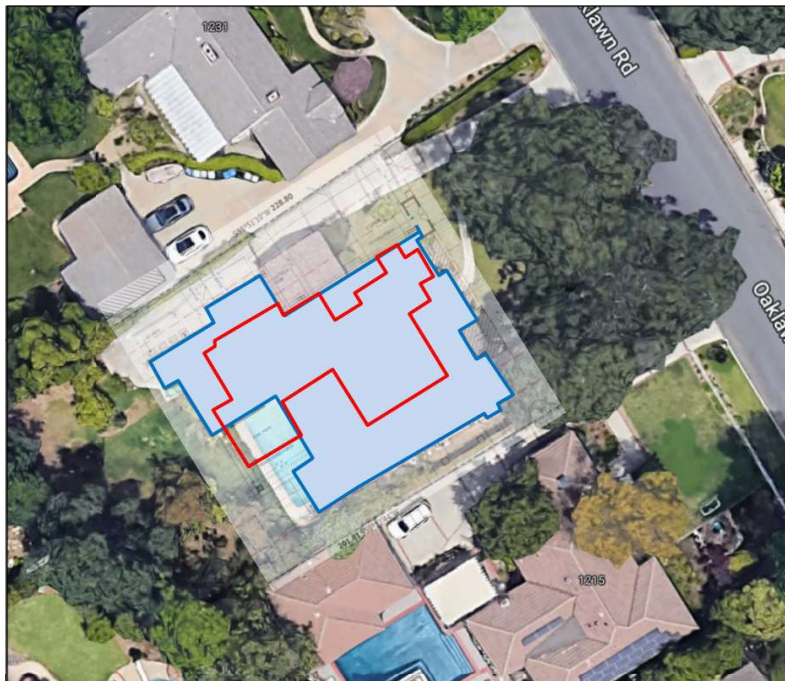
When viewed from the street, the project would not look significantly taller in height and bulky compared to the adjacent homes due to the greater side setbacks on both first and second floor, the natural incline of the street, and existing oak trees in the front yard area. In fact, this new house will be a foot lower in height than the new Prairie style house that was recently approved by the ARB at 1311 Oaklawn Road (26'-6" at 1225 Oaklawn vs. 27'-6" at 1311 Oaklawn Road). Therefore, the overall mass and scale is within the same range as the other new two-story homes that were approved recently by the ARB.

In terms of architectural style, the two-story Cape Cod style home is generally architecturally consistent within the neighborhood context. Similar design features are shared with neighboring homes and include horizontal siding, tall windows, wainscotting, and use of faux-wood shake shingles. These features help the home blend in with the existing streetscape. The most significant difference is the visible roof slope which is 10:12. Ranch house roofs are typically shallow with a 3:12 or 4:12 slope, which emphasizes the low-horizontal nature of that style of architecture. However, use of a steeper roof pitch allows for the second story to be incorporated into the roof, visually reduces the dominance of the second floor. Although the Appellant's appeal states the project is not compatible with the surrounding neighborhood, Oaklawn Road currently has two-story homes with diverse architectural elements meaning the proposed home will not be significantly different to other nearby homes. It is why the ARB found the style to be appropriate. See Figure 4 for architectural elevations.



**Figure 4:** Front (west) and southern elevations

One of the Appellants, at 1215 Oaklawn Road expressed concerns over a loss of privacy since that property is at a slightly lower elevation than the subject property. To ensure there was no privacy issues, the house was designed to have a greater second story setback of 26'-6" on the southern façade next to 1215 Oaklawn Road, thereby exceeding the minimum required setback by 5'-11". Also, the property at 1215 Oaklawn Road has a driveway on the side of the property, thereby resulting in a 35-foot setback between the home and second story of the new house, refer to Figure 5, below. Furthermore, the second story contains only small, clerestory windows on the southern façade (which were changed as a result of community comments after the first ARB hearing).



**Figure 5:** Footprint of the proposed house shown with reference to the location of adjacent properties. First floor shown in blue. Second story outlined in red.

These changes from the ARB did help mitigate the privacy issues between both properties. However, Staff is recommending that the hedges along the perimeter of the property within the north and side yard areas shall be maintained at a minimum height of 12 feet. A condition of approval to this effect has been proposed – refer to condition of approval no. 2.

One of the Appellants also raised concerns about the loss of views to the north from the property at 1215 Oaklawn Road. Although staff recognize that views from properties to scenic elements, such as the mountains, are valued in the community, the City does not have a view protection ordinance.

## **FINDINGS**

Section 9107.19.050 of the Development Code requires that the Review Authority may approve a Site Plan and Design Review application, only if it first makes all the following findings:

- 1. The proposed development will be in compliance with all applicable development standards and regulations in the Development Code.**

**Facts to Support This Finding:** The subject site is zoned R-0, Very-Low Density Residential Zone, which allows for the development of a single-family residence. The new two-story house will not change the use or density allowed in this zone and meets all of the development standards and regulations required, including but not limited to setbacks, height, and floor area ratio. Therefore, the new development will be in compliance with all the applicable standards and regulations in the Development Code, and the City's Single-Family Design Guidelines.

- 2. The proposed development will be consistent with the objectives and standards of the applicable Design Guidelines.**

**Facts to Support This Finding:** The Santa Anita Oaks ARB and the City's Planning Division determined that the new two-story house, as well as the overall mass and scale of the home are consistent with the City's Single-Family Residential Design Guidelines. The new house will be compatible with the other homes on the street, as it is comprised of one and two-story homes, and reflects a variety of architectural styles and forms. The architectural style on this house, Cape Cod, was chosen and approved by the ARB since the style hides a large portion of the second story at the front of the home, and the large side setbacks and extensive articulation serve to further reduce the visual mass of the home. The existing three very large mature oak trees in the front yard will help further mitigate the mass and scale from the street. Therefore, the proposed development will be consistent with the objectives and standards of the Single-Family Design Guidelines.

- 3. The proposed development will be compatible in terms of scale and aesthetic design with surrounding properties and developments.**

**Facts to Support This Finding:** The new two-story home would be compatible with the character of the neighborhood in terms of the architectural design since the subject site is in a residential neighborhood that is comprised primarily of Ranch and a variety of other architectural styles including French, Traditional/Colonial, and Tudor. The Cape Cod style house is consistent with the City's design guidelines in terms of form, roof, articulations, and design features and details. The architectural design, overall articulation, extensive front yard landscaping including retention of three large, existing oak trees, and large second

story setbacks help minimize the scale, soften the appearance of the home, and allow for consistency with the neighborhood. The Santa Anita Oaks ARB and the City's Planning Division found that the Cape Cod architectural style are appropriate for the neighborhood, that the home had sufficient articulation, and that the façade detailing, windows and doors, and colors and materials are suitable for the home.

**4. The proposed development will have an adequate and efficient site layout in terms of access, vehicular circulation, parking and landscaping.**

**Facts to Support This Finding:** The circular driveway will provide efficient access to the four-car garage at the northern side of the home. Parking is easily accessible from the new driveway and will allow for easy vehicular ingress and egress to the site. The proposed landscaping will complement the architectural design, provide screening along the side and rear property lines, and is consistent with landscaping in the neighborhood.

**5. The proposed development will be in compliance with all of the applicable criteria identified in Subparagraph 9107.19.040.C.5 for a Site Plan and Design Review application.**

**Facts to Support This Finding:** The proposed project would be in compliance with all the applicable criteria set forth in Subparagraph 9107.19.040.C.5, including all other applicable sections of the Development Code. The project is in compliance with the City's Single-Family Residential Design Guidelines as the proposed home will have an appropriate mass, scale, and design that fits in with the other homes in the immediate vicinity. The site layout and design are harmonious with the neighborhood as the proposed home meets or exceeds all required setbacks. The visual mass of the home is softened by "hiding" the second story within the roof at the front of the house. Large second-story setbacks on the southern façade and use of clerestory windows will limit any overlooking or privacy issues with the adjacent property to the south. Extensive new landscaping throughout will complement the home and provide additional screening along both side and the rear property lines. The driveway for the site is designed to provide efficient and safe access to the residents and neighbors. No major impacts on or off-site are expected from this project. Therefore, the proposed home will be consistent with the City's Single-Family Residential Design Guidelines and General Plan.

For the reasons stated in this report and the that the new house meets all the required findings, it is recommended that the Planning Commission deny Appeal No. HOA 22-05 and uphold the decision of the Santa Anita Oaks Architectural Review Board.

### **ENVIRONMENTAL ANALYSIS**

The proposed project qualifies as a Class 3 Categorical Exemption per the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15303(a) of the CEQA Guidelines for the construction of a new single-family home. Refer to Attachment No. 7 for the Preliminary Exemption Assessment.

### **PUBLIC COMMENTS**

Public hearing notices for this appeal were mailed to the owners of the properties that are located within 300 feet of the subject property and published in Arcadia Weekly on November 10, 2022. As of November 17, 2022, staff has not received any comments from the public.

### **RECOMMENDATION**

It is recommended that the Planning Commission adopt Resolution No. 2106, find that the project is Categorically Exempt under the California Environmental Quality Act (CEQA), and deny the Appeal and uphold the Santa Anita Oaks Homeowners' Association Architectural Review Board's approval of the new two-story home at 1225 Oaklawn Road, subject to the additional conditions of approval.

1. The Owner/Applicant shall comply with the Santa Anita Oaks ARB conditions of approval that were listed in their ARB Findings and Actions Report, dated September 13, 2022.
2. Prior to issuance of a Certificate of Occupancy, the Owner/Applicant shall plant tall mature hedges along the perimeter of the property along the north and side yard areas. The hedges shall be at least 8-10 feet tall at the time they are planted, and they shall be maintained at a minimum height of 12 feet.
3. The Owner/Applicant shall file a Protected Tree Permit application with the City within 45-days of this approval, and the Owner/Applicant shall comply with all the recommended measures and conditions of approval imposed by the Certified Arborist that prepared the report and the City to ensure no portion of the proposed development will harm the healthy protected trees. If any of the protected trees do not survive as a result of this development, the City has the ability to require a large mature oak tree(s) to replace the existing tree(s) prior to issuance of a Certificate of Occupancy. The size and location shall be determined by the Planning & Community Development Administrator, or designee and the City's Certified Arborist.

4. To the maximum extent permitted by law, Applicant/Property Owner must defend, indemnify, and hold City, any departments, agencies, divisions, boards, and/or commissions of the City, and its elected officials, officers, contractors serving as City officials, agents, employees, and attorneys of the City (“Indemnitees”) harmless from liability for damages and/or claims, actions, or proceedings for damages for personal injuries, including death, and claims for property damage, and with respect to all other actions and liabilities for damages caused or alleged to have been caused by reason of the Applicant’s activities in connection with the new Cape Cod house (“Project”) on the Project site, and which may arise from the direct or indirect operations of the Applicant or those of the Applicant’s contractors, agents, tenants, employees or any other persons acting on Applicant’s behalf, which relate to the development and/or construction of the Project. This indemnity provision applies to all damages and claims, actions, or proceedings for damages, as described above, regardless of whether the City prepared, supplied, or approved the plans, specifications, or other documents for the Project.

In the event of any legal action challenging the validity, applicability, or interpretation of any provision of this approval, or any other supporting document relating to the Project, the City will promptly notify the Applicant of the claim, action, or proceedings and will fully cooperate in the defense of the matter. Once notified, the Applicant must indemnify, defend and hold harmless the Indemnitees, and each of them, with respect to all liability, costs and expenses incurred by, and/or awarded against, the City or any of the Indemnitees in relation to such action. Within 15 days’ notice from the City of any such action, Applicant shall provide to City a cash deposit to cover legal fees, costs, and expenses incurred by City in connection with defense of any legal action in an initial amount to be reasonably determined by the City Attorney. City may draw funds from the deposit for such fees, costs, and expenses. Within 5 business days of each and every notice from City that the deposit has fallen below the initial amount, Applicant shall replenish the deposit each and every time in order for City’s legal team to continue working on the matter. City shall only refund to Developer any unexpended funds from the deposit within 30 days of: (i) a final, non-appealable decision by a court of competent jurisdiction resolving the legal action; or (ii) full and complete settlement of legal action. The City shall have the right to select legal counsel of its choice that the Applicant reasonably approves. The parties hereby agree to cooperate in defending such action. The City will not voluntarily assist in any such third-party challenge(s) or take any position adverse to the Applicant in connection with such third-party challenge(s). In consideration for approval of the Project, this condition shall remain in effect if the entitlement(s) related to this Project is rescinded or revoked, whether or not at the request of the Applicant. Approval of the house shall not be of effect unless the Property Owner/Applicant has executed and filed the Acceptance Form with the City on or before 30 calendar days after the Planning

Commission has denied the appeal. The Acceptance Form is to indicate awareness and acceptance of the conditions of approval.

## **PLANNING COMMISSION ACTION**

### **Denial of Appeal**

If the Planning Commission intends to deny the appeal and uphold the ARB approval of the new two-story residence, the Commission should pass a motion to deny Appeal No. HOA 22-05, stating that the proposed project is exempt under the California Environmental Quality Act (CEQA), is consistent with the City's Design Guidelines, and/or City Council Resolution 7272, and adopt Resolution No. 2106.

### **Approval of Appeal**

If the Planning Commission intends to approve the appeal and overturn the ARB approval of the two-story residence, the Commission should pass a motion to approve Appeal No. HOA 22-05, stating that the proposed project is inconsistent with the City's Design Guidelines, and/or City Council Resolution No. 7272.

If any Planning Commissioner, or other interested party has any questions or comments regarding this matter prior to the November 22, 2022, Planning Commission Meeting, please contact Fiona Graham, Planning Services Manager by calling (626) 574-5442, or by email to [fgraham@ArcadiaCA.gov](mailto:fgraham@ArcadiaCA.gov).

Approved:



Lisa L. Flores  
Planning & Community Development Administrator

- Attachment No. 1: Resolution No. 2106
- Attachment No. 2: Aerial Photo with Zoning Information & Photos of Subject Property and Vicinity
- Attachment No. 3: Appeal Letter from Appellants, dated September 19, 2022
- Attachment No. 4: ARB Findings and Action Report and ARB Meeting Minutes for July 21, 2022, and September 13, 2022
- Attachment No. 5: Architectural Drawings
- Attachment No. 6: Preliminary Arborist's report
- Attachment No. 7: Preliminary Exemption Assessment

# Attachment No. 1

Resolution No. 2106

RESOLUTION NO. 2106

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ARCADIA, CALIFORNIA, DENYING THE APPEAL OF SANTA ANITA OAKS HOMEOWNERS' ASSOCIATION APPROVAL OF A NEW TWO-STORY, CAPE COD STYLE HOME WITH AN ATTACHED FOUR-CAR GARAGE WITH A CATEGORICAL EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) AT 1225 OAKLAWN ROAD

WHEREAS, on January 10, 2022, a Regular Review application was submitted to the Santa Anita Oaks Homeowners' Association Architectural Review Board (ARB) by Philip Chang on behalf of the property owners, Yaping Zhu, Dawen Gao, and Yan Zhao, for a new 6,138 square foot, two-story, Cape Cod style residence with an attached four-car garage, and several covered porches totaling 1,075 square feet at 1225 Oaklawn Road; and

WHEREAS, on July 21, 2022, the Santa Anita Oaks ARB held a duly noticed public hearing on the new house. Four (4) neighbors attended the meeting, expressing concerns that the mass, scale and architectural style of the house were inconsistent with the neighborhood, that the house would create privacy issues for the adjacent property to the south – 1215 Oaklawn Road, and that the Findings could not be made. The ARB continued the hearing to allow the architect to make the necessary changes to the project; and

WHEREAS, on September 13, 2022, the Santa Anita Oaks ARB held a second hearing and after reviewing the revised plans and the neighbors' concerns, the ARB conditionally approved the new home with a 3-2 vote on the basis that the proposed project is consistent with the City's Single Family Residential Design Guidelines and that the project complies with all the regulations; and

WHEREAS, on September 26, 2022, within the 10-day appeal period, the Appellants filed an appeal of the ARB's approval of the new two-story house; and

WHEREAS, on November 9, 2022, Planning Services completed an environmental assessment for the proposed project in accordance with the California Environmental Quality Act ("CEQA") and recommends that the Planning Commission determine that the proposed project qualifies as a Class 3 Categorical Exemption under CEQA pursuant to Section 15303(a) of the CEQA Guidelines for the construction of a single-family home; and

WHEREAS, on November 22, 2022, a duly noticed public hearing was held before the Planning Commission on said appeal, at which time all interested persons were given full opportunity to be heard and to present evidence.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF ARCADIA, CALIFORNIA, HEREBY RESOLVES AS FOLLOWS:

SECTION 1. The factual data submitted by the Community Development Division in the staff report dated November 22, 2022, are true and correct.

SECTION 2. This Commission finds that based upon the entire record, pursuant to Section 9107.19.050 of the Arcadia Development Code, all of the following findings can be made.

1. The proposed development will be in compliance with all applicable development standards and regulations in the Development Code.

FACT: The subject site is zoned R-0, Very-Low Density Residential Zone, which allows for the development of a single-family residence. The new two-story house will not change the use or density allowed in this zone and meets all of the development

standards and regulations required, including but not limited to setbacks, height, and floor area ratio. Therefore, the new development will be in compliance with all the applicable standards and regulations in the Development Code, and the City's Single-Family Design Guidelines.

2. The proposed development will be consistent with the objectives and standards of the applicable Design Guidelines.

FACT: The Santa Anita Oaks ARB and the City's Planning Division determined that the new two-story house, as well as the overall mass and scale of the home are consistent with the City's Single-Family Residential Design Guidelines. The new house will be compatible with the other homes on the street, as it is comprised of one and two-story homes, and reflects a variety of architectural styles and forms. The architectural style on this house, Cape Cod, was chosen and approved by the ARB since the style hides a large portion of the second story at the front of the home, and the large side setbacks and extensive articulation serve to further reduce the visual mass of the home. The existing three very large mature oak trees in the front yard will help further mitigate the mass and scale from the street. Therefore, the proposed development will be consistent with the objectives and standards of the Single-Family Design Guidelines.

3. The proposed development will be compatible in terms of scale and aesthetic design with surrounding properties and developments.

FACT: The new two-story home would be compatible with the character of the neighborhood in terms of the architectural design since the subject site is in a residential neighborhood that is comprised primarily of Ranch and a variety of other architectural styles including French, Traditional/Colonial, and Tudor. The Cape Cod style house is

consistent with the City's design guidelines in terms of form, roof, articulations, and design features and details. The architectural design, overall articulation, extensive front yard landscaping including retention of three large, existing oak trees, and large second story setbacks help minimize the scale, soften the appearance of the home, and allow for consistency with the neighborhood. The Santa Anita Oaks ARB and the City's Planning Division found that the Cape Cod architectural style is appropriate for the neighborhood, that the home had sufficient articulation, and that the façade detailing, windows and doors, and colors and materials are suitable for the home.

4. The proposed development will have an adequate and efficient site layout in terms of access, vehicular circulation, parking and landscaping.

FACT: The circular driveway will provide efficient access to the four-car garage at the northern side of the home. Parking is easily accessible from the new driveway and will allow for easy vehicular ingress and egress to the site. The proposed landscaping will complement the architectural design, provide screening along the side and rear property lines, and is consistent with landscaping in the neighborhood.

5. The proposed development will be in compliance with all of the applicable criteria identified in Subparagraph 9107.19.040.C.5 for a Site Plan and Design Review application.

FACT: The proposed project would be in compliance with all the applicable criteria set forth in Subparagraph 9107.19.040.C.5, including all other applicable sections of the Development Code. The project is in compliance with the City's Single-Family Residential Design Guidelines as the proposed home will have an appropriate mass, scale, and design that fits in with the other homes in the immediate vicinity. The site layout and

design are harmonious with the neighborhood as the proposed home meets or exceeds all required setbacks. The visual mass of the home is softened by “hiding” the second story within the roof at the front of the house. Large second-story setbacks on the southern façade and use of clerestory windows will limit any overlooking or privacy issues with the adjacent property to the south. Extensive new landscaping throughout will complement the home and provide additional screening along both side and the rear property lines. The driveway for the site is designed to provide efficient and safe access to the residents and neighbors. No major impacts on or off-site are expected from this project. Therefore, the proposed home will be consistent with the City’s Single-Family Residential Design Guidelines and General Plan.

SECTION 3. Pursuant to the provisions of the California Environmental Quality Act (“CEQA”), this Project is a Class 3 Categorical Exemption for the construction of a new single-family home per Section 15303(a) of the CEQA Guidelines.

SECTION 4: For the foregoing reasons, the Planning Commission determines that the proposed project is Categorically Exempt under the California Environmental Quality Act (“CEQA”) Section 15303(a), Class 3, and denies the appeal and upholds the ARB’s decision to approve a new two-story, Cape Cod style residence with an attached four-car garage, and several covered porches totaling 1,075 square feet at 1225 Oaklawn Road, subject to the conditions of approval attached hereto.

SECTION 4. The Secretary shall certify to the adoption of this Resolution.

Passed, approved and adopted this 22<sup>nd</sup> day of November, 2022.

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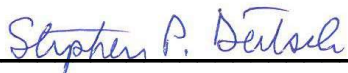
Brad Thompson  
Chair, Planning Commission

ATTEST:

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Lisa L. Flores  
Secretary

APPROVED AS TO FORM:

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Stephen P. Deitsch  
City Attorney

RESOLUTION NO. 2106

**Conditions of Approval**

1. The Owner/Applicant shall comply with the Santa Anita Oaks ARB conditions of approval that were listed in their ARB Findings and Actions Report, dated September 13, 2022.
2. Prior to issuance of a Certificate of Occupancy, the Owner/Applicant shall plant tall mature hedges along the perimeter of the property along the north and side yard areas. The hedges shall be at least 8-10 feet tall at the time they are planted, and they shall be maintained at a minimum height of 12 feet.
3. The Owner/Applicant shall file a Protected Tree Permit application with the City within 45-days of this approval, and the Owner/Applicant shall comply with all the recommended measures and conditions of approval imposed by the Certified Arborist that prepared the report and the City to ensure no portion of the proposed development will harm the healthy protected trees. If any of the protected trees do not survive as a result of this development, the City has the ability to require a large mature oak tree(s) to replace the existing tree(s) prior to issuance of a Certificate of Occupancy. The size and location shall be determined by the Planning & Community Development Administrator, or designee and the City's Certified Arborist.
4. To the maximum extent permitted by law, Applicant/Property Owner must defend, indemnify, and hold City, any departments, agencies, divisions, boards, and/or commissions of the City, and its elected officials, officers, contractors serving as City officials, agents, employees, and attorneys of the City ("Indemnitees") harmless from liability for damages and/or claims, actions, or proceedings for damages for personal injuries, including death, and claims for property damage, and with respect to all other actions and liabilities for damages caused or alleged to have been caused by reason of the Applicant's activities in connection with the new Cape Cod house ("Project") on the Project site, and which may arise from the direct or indirect operations of the Applicant or those of the Applicant's contractors, agents, tenants, employees or any other persons acting on Applicant's behalf, which relate to the development and/or construction of the Project. This indemnity provision applies to all damages and claims, actions, or proceedings for damages, as described above, regardless of whether the City prepared, supplied, or approved the plans, specifications, or other documents for the Project.

In the event of any legal action challenging the validity, applicability, or interpretation of any provision of this approval, or any other supporting document relating to the Project, the City will promptly notify the Applicant of the claim, action, or proceedings and will fully cooperate in the defense of the matter. Once notified, the Applicant must indemnify, defend and hold harmless the Indemnitees, and each of them, with respect to all liability, costs and expenses incurred by, and/or

awarded against, the City or any of the Indemnitees in relation to such action. Within 15 days' notice from the City of any such action, Applicant shall provide to City a cash deposit to cover legal fees, costs, and expenses incurred by City in connection with defense of any legal action in an initial amount to be reasonably determined by the City Attorney. City may draw funds from the deposit for such fees, costs, and expenses. Within 5 business days of each and every notice from City that the deposit has fallen below the initial amount, Applicant shall replenish the deposit each and every time in order for City's legal team to continue working on the matter. City shall only refund to Developer any unexpended funds from the deposit within 30 days of: (i) a final, non-appealable decision by a court of competent jurisdiction resolving the legal action; or (ii) full and complete settlement of legal action. The City shall have the right to select legal counsel of its choice that the Applicant reasonably approves. The parties hereby agree to cooperate in defending such action. The City will not voluntarily assist in any such third-party challenge(s) or take any position adverse to the Applicant in connection with such third-party challenge(s). In consideration for approval of the Project, this condition shall remain in effect if the entitlement(s) related to this Project is rescinded or revoked, whether or not at the request of the Applicant. Approval of the house shall not be of effect unless the Property Owner/Applicant has executed and filed the Acceptance Form with the City on or before 30 calendar days after the Planning Commission has denied the appeal. The Acceptance Form is to indicate awareness and acceptance of the conditions of approval.

# Attachment No. 2

Aerial Photo with Zoning Information and  
Photos of the Subject Property and Vicinity

**Site Address:** 1225 OAKLAWN RD

**Property Owner(s):** Property Owner



Property Characteristics	
<b>Zoning:</b>	R-O (22,000)
<b>General Plan:</b>	VLDR
<b>Lot Area (sq ft):</b>	
<b>Main Structure / Unit (sq. ft.):</b>	2,595
<b>Year Built:</b>	1951
<b>Number of Units:</b>	1
Overlays	
<b>Architectural Design Overlay:</b>	Yes
<b>Downtown Overlay:</b>	N/A
<b>Downtown Parking Overlay:</b>	N/A
<b>Parking Overlay:</b>	N/A
<b>Racetrack Event Overlay:</b>	N/A
<b>Residential Flex Overlay:</b>	N/A
<b>Special Height Overlay:</b>	N/A

Selected parcel highlighted



Parcel location within City of Arcadia



1225 Oaklawn as seen from the driveway entrance to the property



1220 Oaklawn Road



1230 Oaklawn Road



1300 Oaklawn Road



View looking south on Oaklawn Road toward the subject property



Looking north from the front of 1215 Oaklawn Road toward the existing house on the subject property



View toward 1225 Oaklawn Road (subject property) from the rear yard of 1215 Oaklawn Road.



The existing house as viewed from the driveway of 1215 Oaklawn Road



The existing house on the subject property viewed from the front property line.



Looking toward the existing house on the subject property across the driveway at 1231 Oaklawn Road



1231 Oaklawn Road



1301 Oaklawn Road

# Attachment No. 3

Appeal Letter from the Appellants, dated  
September 19, 2022



CITY OF  
ARCADIA

APPEAL NO. 22-05

# APPEAL APPLICATION

## SUBJECT OF APPEAL

APPLICATION TYPE AND NUMBER(S): Santa Anita Oaks Design Review  
 PROJECT ADDRESS: 1225 Oaklawn Rd.  
 DATE THE DECISION BEING APPEALED WAS RENDERED: 9/13/22

### APPELLANT INFORMATION

### OWNER INFORMATION

NAME Shirley Chi (see attached co-appellants) NAME Yaping Zhu  
(Appellant First & Last Name) (Owner First & Last Name)  
 MAILING ADDRESS 1215 Oaklawn Rd. MAILING ADDRESS: 1225 Oaklawn Rd.  
 CITY Arcadia STATE CA ZIP 91006 CITY Arcadia STATE CA ZIP 91006  
 PHONE 312-520-8900 PHONE \_\_\_\_\_  
 E-MAIL shirleychimd@gmail.com E-MAIL \_\_\_\_\_

### APPEAL INFORMATION:

In accordance with the procedures set forth in the Municipal Code of the City of Arcadia, I hereby appeal the decision of the following review authority:

- Director or Designee's Decision
- Planning Commission
- Modification Committee
- Homeowner's Association (please specify):  
Santa Anita Oaks ARB

### PLEASE ANSWER THE FOLLOWING:

On a separate sheet, explain specifically **what** action(s) you are appealing and the **reason** for the appeal.

### SIGNATURES

The appellant hereby declares under penalty of perjury that all the information submitted for this appeal is true and correct.

Shirley Chi  
Appellant Signature

9/19/22  
Date

Property Owner Signature

Date

### FOR OFFICE USE ONLY

Date Filed 9/26/22 Receipt No. 12502 Amount \$ 676.00 Received By SA

Co-appellants in the Appeal of Santa Anita Oaks ARB Decision on  
Proposed Home at 1225 Oaklawn Rd.

All co-appellants are homeowners and are within the 300 ft radius map of  
the proposed home.

Jill and Steve Hisey  
515 Arbolada Drive  
Arcadia, CA 91006  
818-219-1279

Feizhi Chen & Angela P Lin  
521 Arbolada Drive  
Arcadia, CA 91006  
626-341-3823

Dr. Gary and Karen Jacobsen  
1201 Oaklawn Road  
Arcadia, CA 91006  
626-533-8236

Maurice and Beverly Stewart  
1212 Oaklawn Road  
Arcadia, CA 91006  
626-688-7998

Drs. Hymavathi and Narandranath Reddy  
1220 Oaklawn Road  
Arcadia, CA 91006  
626-221-5245

Dr. David and Keppie Sullivan  
1320 Oaklawn Road  
Arcadia, CA 91006  
626-379-7082

# CITY OF ARCADIA APPEAL APPLICATION

## INSTRUCTIONS AND FILING REQUIREMENTS WORKSHEET

### REASON FOR APPEAL

Is the entire decision or only parts of it being appealed?

Entire  Part

Are specific conditions of approval being appealed?

Yes  No

If Yes, list the condition number(s) here: \_\_\_\_\_

Attach a separate sheet(s) providing your reasons for the appeal and specifically state the point(s) at issue.

### FILING REQUIREMENTS/ADDITIONAL INFORMATION

In order for an appeal to be processed without delay, the appeal application must include the following materials. To ensure that the appeal application is complete, please check-off the boxes next to the following required materials:

Completed appeal application form

*N/A*  An Ownership Disclosure is required if the property is owned by a corporation, partnership, trust, or non-profit. The disclosure must reveal the agent for service of process or an officer of the ownership entity. The disclosure must list the names and addresses of all the owners and you must attach a copy of the current corporate articles, partnership agreement, trust, or non-profit document, as applicable.

Filing fee

Reason for Appeal

A Radius Map and Property Owner's List and Labels (if the appeal is by the applicant and/or property owner)

- The radius map accompanying the application must show each lot within the required radius of the property involved. Each lot must be consecutively numbered to correspond to the property owners list as explained below.
- Property owners list and labels of the subject property as well as all properties within the radius.
- The property owners list and labels should be typewritten and must include each owner's name, mailing address, and property assessment identification numbers (AIN).
- Each property owner's name on this list must be numbered to correspond with the numbering placed on the aforesaid radius map.

HOA Appeals: ARB Findings and Action form is required when the applicant and/or property owner is filing the appeal.

*N/A*  Architectural Plans

Please note that a Planner may contact you if additional information is necessary prior to the hearing.

## Reasons for Appeal of ARB decision on proposed home on 1225 Oaklawn Rd

1. The Report of Findings found the project inconsistent with the Guidelines in 4 major / critical areas:

SITE PLANNING PRINCIPLES  
FORMS AND MASS  
FRONTAGE CONDITIONS  
HEIGHT BULK SCALE

2. The proposed home is not compatible with the surrounding homes on Oaklawn Rd.

My engineering consultant, Kevin Lai, PLS, PE, will submit an Expert Declaration and present evidence of why this project is not compatible with the surrounding neighborhood. Mr. Lai is licensed as a Professional Land Surveyor, PLS 8886, and is also a Registered Civil Engineer, PE 60565, with over 30 years of experience in the LA area. He has worked on several projects in the city of Arcadia over the years.

We would like to show photo and or video & plans as evidence of why this home would be inconsistent with the look and feel of the neighborhood.

3. Item 9107.20.050 F on page 7-59 of the Development Code was not adhered to; it states the following:

### F. Required Findings

*The Review Authority (ARB) may approve an application only if it first makes findings that the proposed development will be consistent with the City's adopted Design Guidelines.*

4. As the code cited above was not adhered to by 3 architectural review board members who voted to approve, we would like to review comments made by those members in explaining the reasons for their votes.

5. We would like to hear the statements, either in person or via email if they cannot attend, of the other co-applicants, who are all homeowners within the radius map and whose properties are highlighted in the attached map.

Reasons for Appeal of ARB decision on proposed home on 1225 Oaklawn Rd

6. The project will cause loss of privacy and view of the neighbors, particularly the neighbor directly to the south. Please see the guidelines below:

**RESOLUTION NO 7272**

A RESOLUTION of the City Council of the City of Arcadia amending regulations applicable to properties in the five single family homeowners' association design zone areas. "D" Overlay

Page 5 #2

SITE PLANNING AND NEIGHBORHOOD CONTEXT

(Middle of paragraph)

*Natural amenities such as VIEWS, trees and other similar features unique to the site should be preserved and incorporated into development proposals.*

7. We question the excessive hardscaping in the front yard which is not compatible with the neighborhood.

8. We request to see a certified survey map showing existing side, front & rear setbacks of the existing building signed & stamped by a licensed land surveyor.

# Attachment No. 4

ARB Findings and Action Report and ARB  
Meeting Minutes for July 21, 2022, and  
September 13, 2022

**Santa Anita Oaks**  
**ARCHITECTURAL REVIEW BOARD**  
**Findings and Action Report**

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Date: September 13, 2022 File No. \_\_\_\_\_

Project Address: 1225 Oaklawn Rd, Arcadia, CA 91006

Association Name: Santa Anita Oaks HOA

Applicant Name: \_\_\_\_\_

Property Owner(s) Name: 800 Hampton LLC / Susan and Alex Hou

Project Description: NEW 2-STORY 5-BED 6-BATH 6,494 SQUARE FOOT SINGLE FAMILY HOME W/ATTACHED 4-CAR GARAGE

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**FINDINGS**

*Only check those that are apply and provide a written explanation for each*

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The proposed project  is,  is not consistent with the **Site Planning Principles and Neighborhood Context** Guidelines.

Explanation: While the project is within the limits of the FAR, the overall massiveness of the home is difficult to justify in the context of this specific streetscape. The home will tower 15' above the adjacent homes. The ARB had numerous communications with the designer (attached) to try to address the issue of scale and mass, including citing sections of the design guidelines, versus the nearby homes. Little progress was made during those preparatory meetings. The massiveness of the home was still a concern at the public hearing with some board members and several neighbors. Although the quorum voted 3-2 to approve, the chairman, and several neighbors, still feel that this home is not compatible with the streetscape.

The proposed project  is,  is not consistent with the **Forms and Mass** Guidelines.

Explanation: While the project is within the limits of the FAR, the overall massiveness of the home is difficult to justify in the context of this specific streetscape. The home will tower 15' above the adjacent homes. The ARB had numerous communications with the designer (attached) to try to address the issue of scale and mass, including citing sections of the design guidelines, versus the nearby homes. Little progress was made during those preparatory meetings. The massiveness of the home was still a concern at the public hearing with some board members and several neighbors. Although the quorum voted 3-2 to approve, the chairman and several neighbors, still feel that this home is not compatible with the streetscape.

The proposed project  is,  is not consistent with the **Frontage Conditions** Guidelines.

Explanation: The hardscape design is more elaborate than the surrounding neighborhood and is not considered compatible by the chairman. Landscaping is copious and appropriate.

The proposed project  is,  is not consistent with the **Garages and Driveways** Guidelines.

# Santa Anita Oaks ARCHITECTURAL REVIEW BOARD Findings and Action Report

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Explanation: The circular driveway and associated hardscape elements are considered more elaborate than necessary by the chairman.

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The proposed project  is,  is not consistent with the **Architectural Styles** Guidelines.

Explanation: The home is a single and consistent design form. It was noted by several board members and neighbors to be a beautiful design but simply not compatible with this particular streetscape.

The proposed project  is,  is not consistent with the **Height, Bulk, and Scale** Guidelines.

Explanation: While the project is within the limits of the FAR, the overall massiveness of the home is difficult to justify in the context of this specific streetscape. The home will tower 15' above the adjacent homes. The ARB had numerous communications with the designer (attached) to try to address the issue of scale and mass, including citing sections of the design guidelines, versus the nearby homes. Little progress was made during those preparatory meetings. The massiveness of the home was still a concern at the public hearing with some board members and several neighbors. Although the quorum voted 3-2 to approve, the chairman, and several neighbors, still feel that this home is not compatible with the streetscape.

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The proposed project  is,  is not consistent with the **Roofline** Guidelines.

Explanation: Rooflines are of consistent pitch and materials

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The proposed project  is,  is not consistent with the **Entries** Guidelines.

Explanation: Entry is a single-story structure

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The proposed project  is,  is not consistent with the **Windows and Doors** Guidelines.

Explanation: Windows and doors are consistent and appropriate for the design of the home

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The proposed project  is,  is not consistent with the **Articulation** Guidelines.

Explanation: The design uses adequate articulation

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The proposed project  is,  is not consistent with the **Facade Details** Guidelines.

Explanation: Facade treatments are consistent with the architectural style

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The proposed project  is,  is not consistent with the **Colors and Materials** Guidelines.

Explanation: Appropriate materials are used.

**Santa Anita Oaks**  
**ARCHITECTURAL REVIEW BOARD**  
**Findings and Action Report**

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The proposed project  is,  is not consistent with the **Accessory Lighting** Guidelines.

Explanation: Lighting is appropriate for the project.

The proposed project  is,  is not consistent with the **Additions, Alterations, and Accessory Buildings/Structures** Guidelines.

Explanation: NA

The proposed project  is,  is not consistent with the **Hillside Properties** Guidelines.

Explanation: NA

The proposed project  is,  is not consistent with the **Fences, Walls, Gates, and Hedges** Guidelines.

Explanation: Wall that was removed in back yard must be replaced along easement for safety reasons.

The proposed project  is,  is not consistent with the **Impervious Coverage and Landscape Areas** Guidelines.

Explanation: Impervious coverage in the front yard setback is just adequate within the landscape design.

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**ACTION**

*Pursuant to City's Development Code Section 9107.20.050, a Site Plan and Design Review in the Homeowners Association Areas may be approved only if it is found that the proposed development is consistent with the City's adopted Design Guidelines.*

**APPROVED**

**CONDITIONALLY APPROVED**

**DENIED**

**Date of ARB Meeting:** SEPTEMBER 13, 2022

**ARB Members Rendering the Above Decision:**

Tom Walker (chair, ARB)

Matt Rimmer (ARB)

Vince Vargas (ARB)

Gilbert Perez (ARB)

Jessica Louie (ARB)

**AYES: 3**

**NOES: 2**

**Abstain: 0**

**ABSENT: 0**

**Conditions of Approval:**

- 
- 1. Reduce size of pilasters in front yard and remove the lights**
  - 2. Provide detail on the plantings**
  - 3. Remove the spillway to the pool**
-



**Santa Anita Oaks  
ARCHITECTURAL REVIEW BOARD  
Findings and Action Report**

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Date: 1/24/2022

Philip,

I have studied your proposed design in detail, including the new renderings and streetscape drawing that you provided. I have decided to try to describe the concerns the ARB has with this particular design in writing as we didn't do a good job of communicating them in the in-person pre-meeting. I am very happy to also schedule a meeting to discuss once you have a chance to review this document.

Oaklawn consists mostly of single-story ranch homes, especially on the south end of the street. There are one or two large homes that, frankly, were mistakes made by previous ARBs as their architectural style bears no relationship to the character of that street. The ARB strives to determine the appropriate site planning, massing, scale, setbacks, architectural design, and exterior appearance of a proposed project; determine whether the exterior appearance of the proposed project is compatible with the neighborhood; and mitigate potential impacts a proposed project may have on adjacent properties but sometimes we fail.

That is not to say that the design should be one-story or ranch style, but we need to find a design that makes the resulting design and massing more compatible with the streetscape. One thing that has been successful with recent projects is to push the second story mass back away from the street (pages 12, 14, 15 of the design guidelines noted below) resulting in a design that appears much less massive and more compatible with the streetscape. The house is quite attractive, and would be a great addition to the right street, but we have concerns that will not be harmonious with the character of Oaklawn.

During the first meeting we asked that the second floor to first floor ratio be made smaller for this reason – you did accommodate that request by moving the ratio from 75% to 55%. However, the resulting design as presented in the 3D perspective views does not show a significant change (for me, unnoticeable) and doesn't achieve the goal of hiding the mass.

Before:



After:



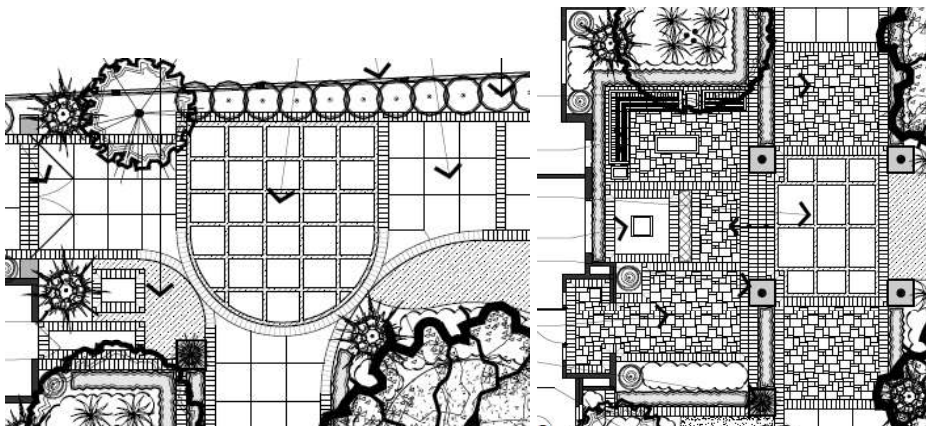
Issues:

1. How can you configure this design, or possibly an alternative design, so that it is more compatible with the existing homes and hides the fact that the house is still pushing the limits of the FAR by making it appear less massive? Our suggestion of pushing the second story mass back to the rear of the house to make the front of the house appear more compatible with the adjacent homes is just one idea. But the current design has significant mass in the front which makes it incompatible with the mass and scale of the homes within the streetscape, as shown in your drawing below.



2. There was no landscape plan presented in the first meeting so thank you for providing this detail now. There are no dimensions on the drawing for the hardscape so we cannot tell how wide the driveway is or the dimensions of the entry. Reviewing a PDF does not allow us to use a scale to extract the dimensions so we will require the landscape drawing to be dimensioned in a complete submission.

However, this design appears too massive and elaborate in comparison to the streetscape. The nearby properties do not have such excessive hardscape so the proposed design does not appear to fit into the context of the street. There also appear to be pilasters but these are not clearly identified. Some portions of the driveway (shown below) are too large and unnecessary to allow safe vehicular access (page 13 of the design guidelines). We will want to see this made less elaborate with reduced hardscape.



I hope that I sufficiently described our concerns and what we would like to see modified. We are happy to schedule another meeting to discuss and answer questions.

Best regards,  
Tom

#### References from the Arcadia SFR Design Guidelines.

**Page 12:**

Homes should not have significantly greater height and bulk at the front of a property than that of adjacent homes.

**Page 13:**

Driveways should be no wider than necessary to provide for safe and efficient vehicular access to the property in order to minimize the need for excessive paving.

**Page 14:**

Consistency and/or complementary architectural styles should be maintained within an existing neighborhood context.

**Page 15:**

Second floor massing should be stepped back to minimize impacts on adjacent neighbors and the streetscape.

A structure's size and bulk should complement the predominant massing types of the neighborhood.

**Page 17:**

Combining two different roof pitches is discouraged. Traditional roof forms such as gables, hips, and dormers are encouraged. More severe roof forms such as domes, steep chalet gables, and flat roofs are generally discouraged.

Date: 4/21/2022

Hi Philip,

I reviewed your PPT and saw the homes you are comparing. I appreciate the effort put into this but, the immediate neighborhood and streetscape that we are focused on is Oaklawn, not these other streets. I understand the examples shown are meant to point out the range of designs that have been designated as compatible on those streets. All I can say is that each street has its own character and each design is considered on a case by case basis. And, sometimes we approve things that after being built do not look compatible in retrospect. It would be more helpful and appropriate to consider examples of the homes surrounding the proposed project on Oak Lawn.

Like I stated in my earlier communication, this is a beautiful house and would likely be an appropriate design on Hacienda or Rodeo where larger homes exist. It is an immediately recognizable design style and maintains that style consistently. However, Oak Lawn is primarily single story ranch style homes and so finding a design that is compatible with (not necessarily a ranch style) or contains design cues from the streetscape is what we are looking for. We are trying harder to maintain the character of the individual streets in the Oaks and in doing so we are asking designers to work with us to find more compatible designs while achieving the living area they are targeting.

We have had other designers take on this challenge on Oak Lawn and create designs that mimic a low profile design in front and push the second floor mass much further back with success. Sticking with this particular English Tudor design on this street will result in a house that we are concerned will not blend in but will stick out. We recognize the changes that have been made but even with the changes there is nothing in this design that is taking cues from the Oak Lawn streetscape.

Here are some of the key concepts taken directly from the Arcadia SFR design guidelines that have us concerned:

- Objective 2: Create a streetscape presence that is visually pleasing through site planning and building form and orientation while also maintaining neighborhood character.
- Objective 3: Ensure new homes and home additions are consistent in architectural style, scale, massing, features, and quality as the surrounding neighborhood.
- In neighborhoods with an established architectural style or pattern(s), new homes or remodels should enhance the neighborhood character. The stronger the existing neighborhood pattern, the more important it is for an applicant to reinforce and respect those existing patterns.
- In neighborhoods with existing, smaller homes, new homes should be designed with a greater first floor area with additional setbacks at the second story of the new structure.
- Where a new second-story home or addition is proposed within a predominately one-story neighborhood, second-story massing should be located to the rear or side of a home to minimize the appearance of the second-story.
- Proposed height and bulk should respect existing structures on neighboring properties and not overwhelm them with disproportionate size and scale.

Date: 5/10/2022

Philip,

Let me say first that I very much appreciate your willingness to make these changes from the Tudor design to the Traditional design. You have made progress towards the requests made and we are getting closer. While both home designs are very handsome, we still feel that they are less appropriate for the location of the project on Oaklawn, while potentially being perfect for some other street in the Oaks.

The responsibility of the ARB is to 1) determine the appropriate site planning, massing, scale, setbacks, architectural design, and exterior appearance of a proposed project; 2) determine whether the exterior appearance of the proposed project is compatible with the neighborhood; and 3) mitigate potential impacts a proposed project may have on adjacent properties. These things are inherently subjective and cannot be captured with simple parameters such as FAR, height, etc as you described. That's what makes this task so difficult to navigate for both the ARB and the designer but hopefully by working through it together we end up with a better result.

We are providing the feedback below in the spirit of working together to find a design that better fits in the proposed location. I hope you will take the feedback in a positive way and help us to find a path forward. You may decide to hold a public hearing with what you have provided, as you described in your email submission but I will leave that to you.

As far as the process for submitting the drawings and holding the public meeting, we are still not comfortable meeting with a large group in the closed city meeting room. We prefer to continue with the ZOOM meeting format and, as such, we can take the completed drawing package in PDF format emailed to [SAOHOOARB@gmail.com](mailto:SAOHOOARB@gmail.com) where they would be stamped, if approved, and sent back to you, the city planning department, and the city clerk as we have done in the past.

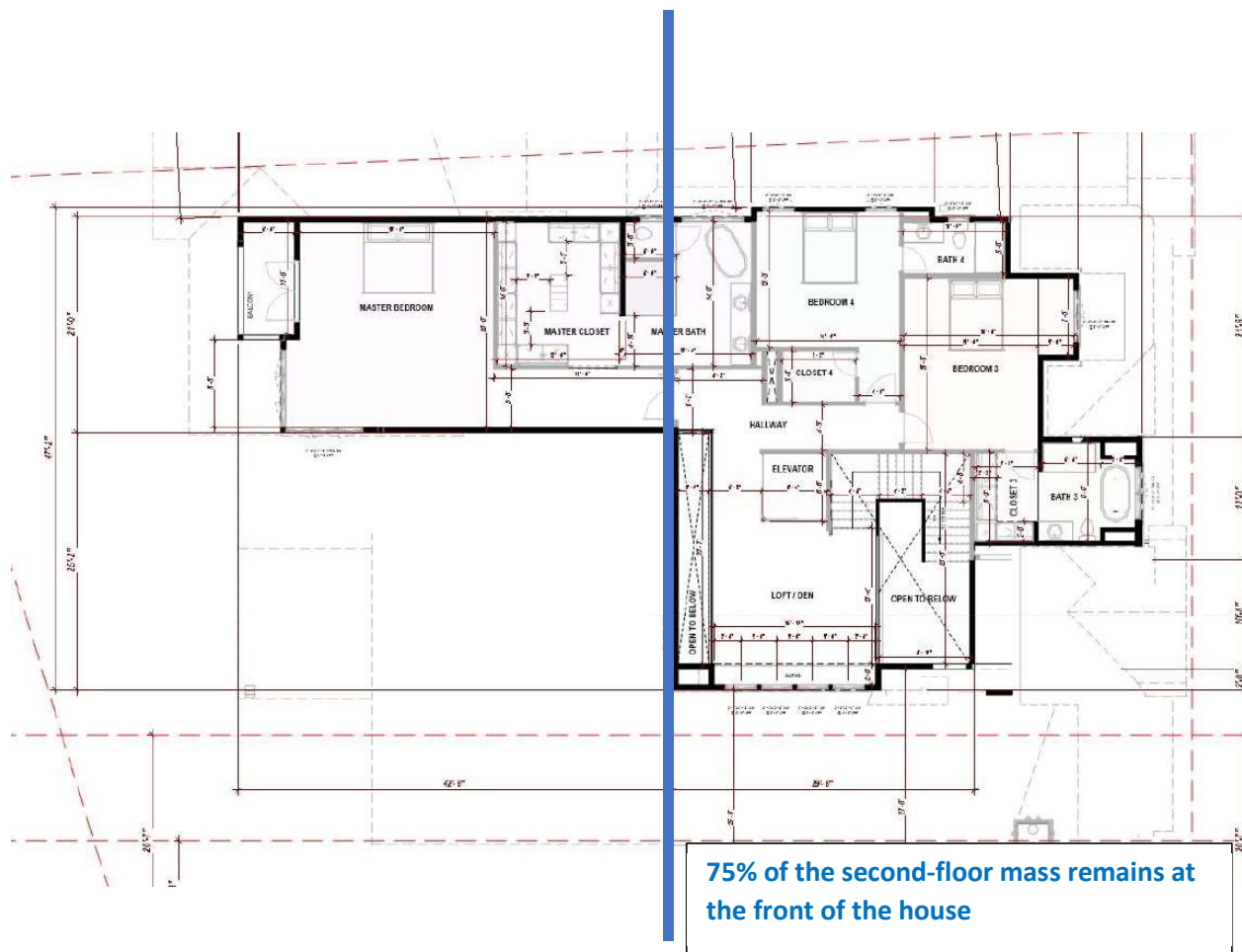
The stamped envelopes and mailing labels can be dropped on the porch of 271 Arbolada Dr, Arcadia, CA 91006.

Best regards,

Tom

**1. Relocating mass of second story back toward the rear of the house**

The second story mass has been reduced and partly hidden behind the steep roof, which is good progress. But the drawings still show that about 75% of the second story remains at the front of the house rather than being moved back toward the rear of the house in the current design form. The second floor starts only about 4 feet back from the front of the house per the drawings. The reason this is being suggested is to explore whether there is a design form that better fits with the low one-story homes adjacent to this project.



Reference:

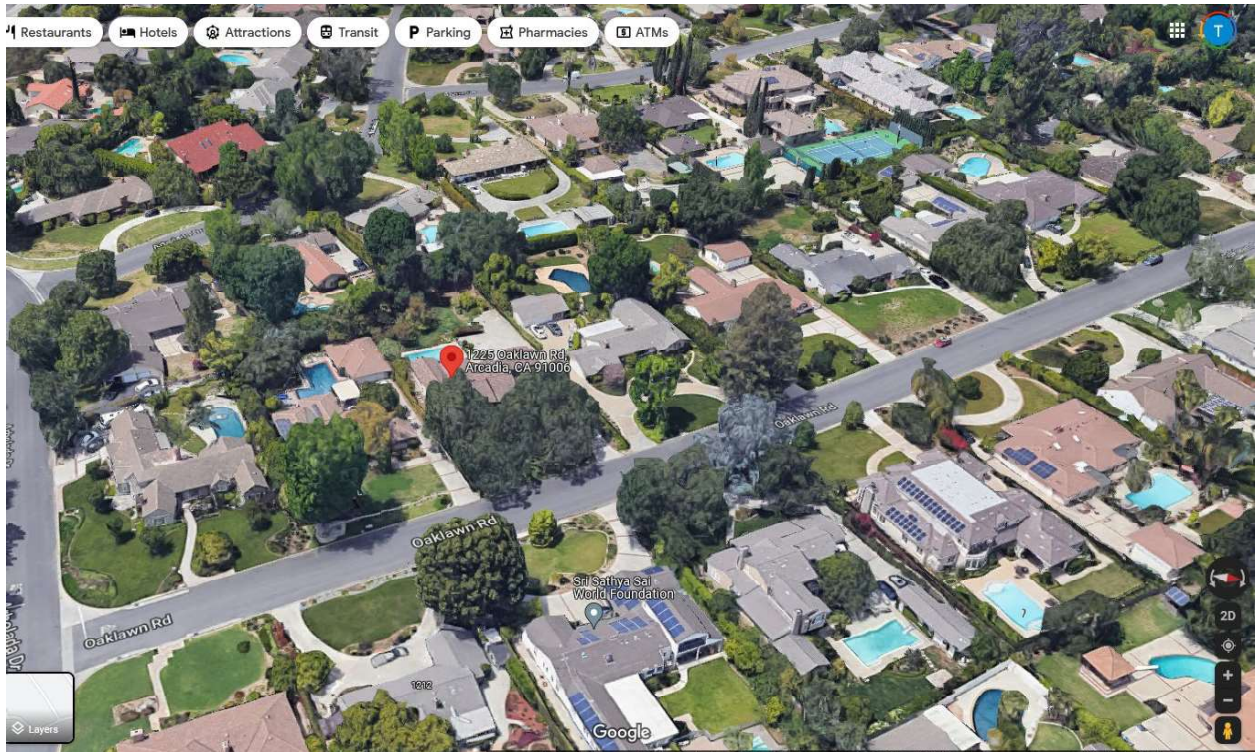
- In neighborhoods with existing, smaller homes, new homes should be designed with a greater first floor area with additional setbacks at the second story of the new structure.
- Where a new second-story home or addition is proposed within a predominately one-story neighborhood, second-story massing should be located to the rear or side of a home to minimize the appearance of the second story.
- Proposed height and bulk should respect existing structures on neighboring properties and not overwhelm them with disproportionate size and scale.
- Homes should not have significantly greater height and bulk at the front of a property than that of adjacent homes.
- Consistency and/or complementary architectural styles should be maintained within an existing neighborhood context.
- Second floor massing should be stepped back to minimize impacts on adjacent neighbors and the streetscape.

2. Reinforcing existing neighborhood design patterns

Oak Lawn is predominantly low and wide ranch homes. There are some larger homes as your materials show but these are mostly at the far opposite end in the cul-de-sac. There are a couple of homes further down that are also quite large but these I refer to as the mistakes that the ARB

can make in envisioning the results when given imperfect renderings missing streetscape depictions. I interpret the resolution referring to the neighborhood as the surrounding homes. The character of the Oaks is vastly different on the west side versus the east side, so we need to look more locally.

The homes near this project have certain characteristics including low and wide aspect ratio and the use of horizontal design forms. It seems a larger home can be designed that includes these design cues while pushing the second floor further back to minimize the difference in mass and scale.



Date: 6/1/2022

Hi Philip,

I apologize for the length of time it took to get a meeting with the planning department, there was some mix up about who would participate. Let me try my best to describe my view and what I heard from people from the city. I will use your response to guide my comments:

If we revise the plan to address the remaining four items below, will there be another 4 new items? Below are our responses to your Comments. For the responses to the comments we don't necessarily agree on, we are simply expressing our views, please don't take anything as offensive. I will loop the comments back to the owner to see whether he would like to revise the plan again or submit one of the versions presented. Again, thanks for your time.

**1. Relocating the mass of the second story back toward the rear of the house**

- We have already decreased the mass of the 2<sup>nd</sup> story and kept it at around 50% ratio as suggested in the first meeting.
- We have already pushed the 2<sup>nd</sup> floor and hidden the mass inside the roofing structure.
- The width of the lot is OVER 100', and yet the 2<sup>nd</sup> floor is minuscule from the curb appeal. Please take a look at A0 and A4.
- We don't see how setting the 2<sup>nd</sup> floor will improve the overall design since most of the mass is hidden inside the roof. Please take a another look at A0 and A4.
- Our proposed 2<sup>nd</sup> floor exceeds the minimum setback requirement, scaling back from adjacent homes.
- Again, we can step the 2<sup>nd</sup> story back towards the rear as suggested, but we have a feeling the next Commet will be "the 2<sup>nd</sup> floor is too large" or "we don't support a 2-story home."

I believe my comments have been consistent throughout and that there are no "new items" therefore I don't expect anything new if we address them. Let me reiterate what I feel I've been trying to say since I may not be describing it in a way that resonates. The prevailing architectural style on Oak Lawn, especially in the vicinity of this project, are low, wide, and mostly horizontally themed homes. This project proposes a very tall, highly angular design which, I believe, will stick out in an inharmonious fashion. I've been saying it is a nicely designed house that might fit beautifully on another street in another part of the oaks. But I don't view this design as harmonious or compatible in the location it is proposed. In my discussion with the city there was agreement that this style of house is not taking major design cues from the streetscape and that the tall and angular design is making it very difficult to move the second floor mass significantly back from the front of the house (it is currently only 4 feet back from the first floor). I have tried to be consistent in my comments that this style of home is likely preventing us from achieving this setback which would then allow something more consistent with the horizontal design style of the nearby homes.

## 2. Reinforcing existing neighborhood design patterns

We can study each and every house within the context of the neighborhood and relate our design to the neighborhood design pattern. We can also do a neighborhood outreach to obtain their comments.

**Did they get a chance to review our latest plan? Please provide us the name of the planner that provide the comments.**

They have now seen the newest version. Fiona Graham and Lisa Flores have been involved, and perhaps others.

## 3. City Planning Department Feedback

Feedback on the previous iteration was requested from the planning department. As such, some of the comments are less cogent but overall, I feel that their feedback is valuable.

- The style could be "softened" to a more traditional rather than Tudor style. Also, the brick could be broken up with areas of stucco to provide greater contrast and reduce visible bulk.
- The roof line of the second story could be brought down in height to reduce its bulk and make it less prominent. The second story roof style could be changed (for example hips rather than gables) to make it less visible/prominent from the street.
- The second story layout could be pushed back to move a larger portion to the rear of the proposed house rather than the front where it is now. I know this is something you've already requested, but we feel as though this could help reduce the visibility from the street.

Did they get a chance to review our latest plan? Can you provide us the name of the planner that provide the comments so that we can present the project to them directly?

The comments they made after seeing the new design were essentially the same as the above. They did mention that if you were to insist on keeping this style of house, that reducing the height of the ridge that runs parallel to the front of the house so that it is no higher than the gable at the front of the house might make it appear less massive. They also commented that the second floor north elevation lacks articulation and needs improvement, which I had not focused on but agree with. They also noted that the very angular design makes being harmonious with the horizontal design elements found on the streetscape very difficult.

## 4. Requesting Improved Streetscape Rendering

We have provided the streetscape rendering on page 0. We are happy to make that rendering larger and on a separate sheet. We can also try to take a live photo of the neighboring homes and incorporate that into the rendering. If you have any example of the streetscape rendering submitted in the past, please provide.

I think that a larger rendering on a separate sheet and incorporating photos of the neighboring homes would be very helpful for us to make a more informed decision. Thank you for that idea.

Summarizing:

I still feel that it is the angular design and height of the house that is making it difficult to be harmonious and compatible with the mostly horizontal design elements of the street and is preventing us from pushing the second floor significantly back from the first floor. While it is "hidden" within the roof, that roof is a massive flat structure facing the street. If you plan to keep this basic design of the home we would ask that you

1. Lower the ridgeline that is perpendicular to the front gable to meet the gable height (not raise the gable to make them meet) to try to make the house appear less massive
2. Greatly improve the articulation of the north elevation on the second floor
3. Provide a larger streetscape drawing with photos of adjacent homes

I'm not confident this will eliminate my concerns like a design that incorporates more horizontal elements and that allows the second floor to be pushed back would, but we would be at a point with the design that we would hold a public hearing.

Since we will continue to hold these public meetings via ZOOM, we will work with the PDF files directly sent to this address. Mailing labels and stamped envelopes can be left at 271 Arbolada Dr.

Best regards,  
Tom



Reference:

- Objective 2: Create a streetscape presence that is visually pleasing through site planning and building form and orientation while also maintaining neighborhood character.
- Objective 3: Ensure new homes and home additions are consistent in architectural style, scale, massing, features, and quality as the surrounding neighborhood.
- In neighborhoods with an established architectural style or pattern(s), new homes or remodels should enhance the neighborhood character. The stronger the existing neighborhood pattern, the more important it is for an applicant to reinforce and respect those existing patterns.
- In neighborhoods with existing, smaller homes, new homes should be designed with a greater first floor area with additional setbacks at the second story of the new structure.
- Where a new second-story home or addition is proposed within a predominately one-story neighborhood, second-story massing should be located to the rear or side of a home to minimize the appearance of the second story.

3. **City Planning Department Feedback**

Feedback on the previous iteration was requested from the planning department. As such, some of the comments are less cogent but overall, I feel that their feedback is valuable.

- a. The style could be "softened" to a more traditional rather than Tudor style. Also, the brick could be broken up with areas of stucco to provide greater contrast and reduce visible bulk.
- b. The roof line of the second story could be brought down in height to reduce its bulk and make it less prominent. The second story roof style could be changed (for example hips rather than gables) to make it less visible/prominent from the street.
- c. The second story layout could be pushed back to move a larger portion to the rear of the proposed house rather than the front where it is now. I know this is something you've already requested, but we feel as though this could help reduce the visibility from the street.

#### **4. Requesting Improved Streetscape Rendering**

The current rendering that allows the board and citizens to evaluate the design in the context of the homes on the street (the streetscape) needs to be improved and made larger. This is a critical piece of the package and information all present need to make an informed decision. The city planning department made a similar comment, "provide better renderings, including in the streetscape, of the current or updated design to better and more effectively illustrate how the proposed house would look once completed." Whether you decide to take any of this feedback and make changes to the design, or you decide to move forward with this current design in a public hearing, we are requesting that this key rendering be updated and included.

- Homes should not have significantly greater height and bulk at the front of a property than that of adjacent homes.
- Consistency and/or complementary architectural styles should be maintained within an existing neighborhood context.
- Second floor massing should be stepped back to minimize impacts on adjacent neighbors and the streetscape.
- A structure's size and bulk should complement the predominant massing types of the neighborhood.

We can set up a time to discuss perhaps next week. Let me know what dates and times work for you and I will try to get it set up.

Best regards,  
Tom

Santa Anita Oaks Homeowners Association  
Architectural Review Board  
Meeting Minutes  
Thursday, July 21, 2022

CALL TO ORDER - Chair Tom Walker called the remote meeting to order at 5:00 PM  
PURPOSE – Review plans for new home at 1225 Oaklawn Road., Arcadia

ATTENDEES -

Tom Walker (chair, ARB)  
Matt Rimmer (ARB)  
Lorne Brodhead (ARB)  
Vince Vargas (ARB)  
Jessica Louie (ARB)  
Alex Hou (owner)  
Philip Chan (architect)  
Jill Hisey (neighbor behind)  
Shirley Chi (neighbor south)  
Colleen (neighbor across street)  
Angela Lin (neighbor next to Jill)  
Jack (?)

BACKGROUND –

Several previous meetings had been held with the designer regarding the design and size of the house resulting in changes to the house style which is now more traditional. Various sections of the Arcadia single family development standards were referenced in numerous communications with the designer in those meetings. Some progress was made in the design to be more sensitive to the prevailing style of the surrounding properties, but issues remained.

PUBLIC COMMENTS –

The south neighbor noted that the large size of the upper floor would block her view of the mountains. Discussions ensued but nothing was resolved. She also was concerned about large windows overlooking her yard. The architect agreed to change these windows.

The neighbor behind noted that there is a utility easement that extends approximately 10 feet into the backyard of the subject property and needs to be maintained. The architect agreed to maintain the easement and replace the demolished fence. The neighbor also indicated that they believed some of the proposed construction was on their property. The architect agreed to investigate.

Several neighbors stated that they have been unable to get the plans for the proposed house and that the plans on the Arcadia web site are too hard to read. Tom Walker agreed to provide plans to anyone requesting them.

Several neighbors commented on the massiveness of the house since its parameters were very close to the maximum allowed in many cases and it seemed too large for the lot and the streetscape. The neighbors commented that the second floor should be moved back further from the street. These comments were in line with the previous communications between the ARB chair and the designer leading to the public hearing.

It was also noted that the landscape plan was incomplete and needed more information. No plantings are identified. Also, it was noted that the driveway and entry hardscape was excessive and is not harmonious with the streetscape.

Because of these pending issues, Vince Vargas made a motion that the ARB hold a continuance of this meeting. The architect agreed. Lorne Brodhead seconded the motion. The chair called for a vote which was approved unanimously as follows:

Tom Walker (chair ARB) – Yes

Matt Rimmer (ARB) - Yes

Lorne Brodhead (ARB) - Yes

Vince Vargas (ARB) - Yes

Jessica Louie (ARB) - Yes

Meeting was closed at 6:15 PM.

Santa Anita Oaks Homeowners Association  
Architectural Review Board  
Meeting Minutes  
Tuesday, September 13, 2022

CALL TO ORDER - Chair Tom Walker called the remote meeting to order at 5:00 PM

PURPOSE – Continuation of 7/21/22 meeting for new home at 1225 Oaklawn Road., Arcadia

ATTENDEES -

Tom Walker (chair, ARB)  
Matt Rimmer (ARB)  
Vince Vargas (ARB)  
Jessica Louie (ARB)  
Gilbert Perez (ARB)  
Philip Chan (architect)  
Jill Hisey (neighbor behind)  
Shirley Chi (neighbor south)  
Colleen (neighbor across street)  
Angela Lin (neighbor next to Jill)  
Caliland Engineering, Inc.  
Choi  
David Sullivan (neighbor)  
Jack (owner's representative)  
Steve Pelletier (neighbor)  
Mark Gennaro (landscape designer)

BACKGROUND –

Several previous meetings had been held with the designer regarding the design and size of the house resulting in changes to the house style which is now more traditional. Various sections of the Arcadia single family development standards were referenced in numerous communications with the designer in those meetings. Some progress was made in the design to be more sensitive to the prevailing style of the surrounding properties, but issues remained. There was a significant concern regarding mass and scale of the project in relation to the adjacent homes on Oak Lawn which the ARB chairman has communicated in writing to the designer. These communications are attached to the Finding and Actions form submitted to the city.

PUBLIC COMMENTS –

Most of the discussion was a continuation of previous discussions regarding the mass and scale of the house and its lack of compatibility with the streetscape. There were strong objections to the house from many of the neighbors at the meeting due to these concerns. The neighbors noted that the project would tower 15' over the homes on the street and they requested that the designer come up with a one-story option. These comments were in line with the communications the ARB chair had with the designer. Similar objections were voiced from two of the ARB members.

Several minor changes were also discussed and agreed to by the architect and owner, as follows

1. Reduce size of pilasters adjacent to the driveway in front yard setback and remove the lights
2. Provide detail on the plantings (no planting references were provided with the landscape plan)
3. Remove the spillway to the pool
4. Install a vinyl fence on the easement line to place the fence that was removed
5. Remove the rear deck
6. Remove the balcony for privacy reasons

The chair then called for a vote from the ARB on the project including the above changes. The motion was approved by a vote of 3 to 2 as follows

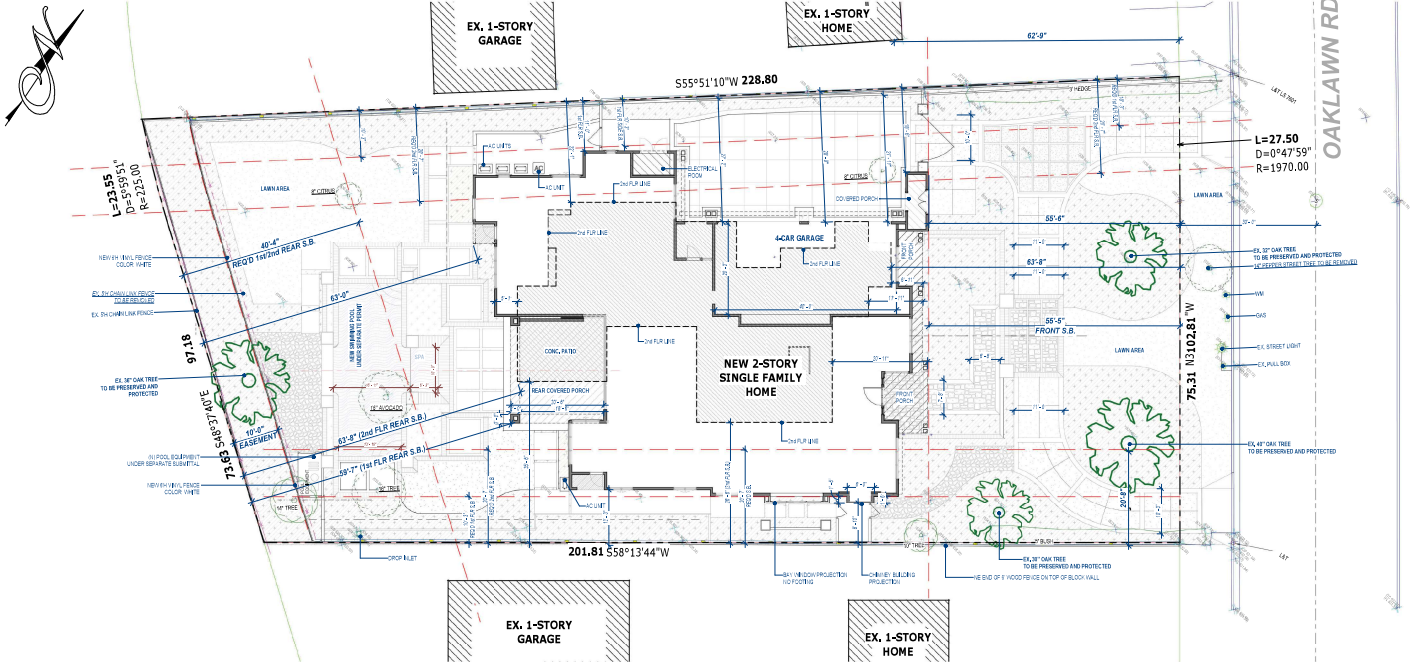
Tom Walker (chair ARB) – No  
Matt Rimmer (ARB) - Yes  
Gil Perez (ARB) - Yes  
Vince Vargas (ARB) - No  
Jessica Louie (ARB) - Yes

Meeting was closed at 6:33 PM.

# Attachment No. 5

Architectural Drawings



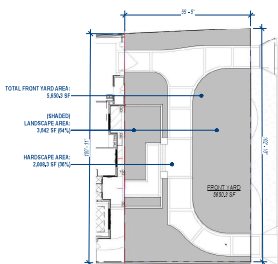


**SITE PLAN**  
SCALE: 1" = 10'-0"

**SETBACK CALCULATION:**

REQUIRED FRONT YARD SETBACK: 35'-0"  
 AVERAGE OF TWO ADJ. HOMES:  $105' \div 3 = 35'-0"$   
 REQUIRED 1st FLOOR REAR YARD SETBACK: 10'-0"  
 10% OF LOT WIDTH (AT FRONT PL) =  $0.10 \times 102.81 = 10.28' \approx 10'-0"$   
 REQUIRED 2nd FLOOR REAR YARD SETBACK: 10'-0"  
 30% OF LOT WIDTH (AT FRONT PL) =  $0.30 \times 102.81 = 30.84' \approx 30'-0"$   
 REQUIRED 1st/2nd REAR YARD SETBACK: 40'-0"  
 $35'-0" + (LOT DEPTH - 150) \div 3 = 35 + (228.8 - 150) \div 3 = 40.28' \approx 40'-0"$

**LANDSCAPE CALCULATION**



**NOTES:**

- ALL NEW CONSTRUCTION REQUIRED RESIDENTIAL FIRE SPRINKLERS. THE SPRINKLER DESIGN AND INSTALLATION SHALL BE ACCORDING TO THE STANDARDS APPROVED BY THE FIRE DEPARTMENT. PLANS SHALL BE SUBMITTED SEPARATELY TO THE FIRE DEPARTMENT FOR REVIEW AND FOR THE REQUIRED PERMITTED FIRM TO OBTAIN FIRE DEPARTMENT APPROVAL.
- ALL CONCRETE BLOCK WALL FENCING SHALL BE SUBMITTED UNDER SEPARATE PERMITTING.
- FENCES SHALL BE PROTECTED DURING CONSTRUCTION. SIGNAGE AND GUARDRAILS SHALL BE PROVIDED TO PROTECT ALL EXISTING TREES. SIGNAGE SHALL BE CONSTRUCTED FOR ONE (1) YEAR. COVERED WALLWAYS SHALL COMPLY WITH CITY STANDARD.
- TREE PROTECTION NOTES:** FOR EXISTING TREES TO REMAIN ON SITE TO REMAIN ALLOWED TO REMAIN OR ROOT SYSTEMS. PROTECTIVE FENCING AS NECESSARY AND FENCING TO BE MAINTAINED FOR 12 MONTHS OR AS PER REQUIRED TO KEEP THEM HEALTHY UNTIL REPLANTING IS INSTALLED.
- LANDSCAPING REQUIRED:** LANDSCAPING MUST BE PROVIDED AND MAINTAINED THROUGHOUT REQUIRED SETBACKS IN UNIMPROVED CITY RIGHT-OF-WAY ADJACENT TO THE PROPERTY AND STREET AREAS VISIBLE FROM A PUBLIC RIGHT OF WAY WHERE NOT USED FOR ACCESS. LANDSCAPING MUST CONSIST OF AN EFFECTIVE COMBINATION OF TREES, GRASS COVER AND SHRUBS. ALL LANDSCAPED AREAS MUST HAVE A PERMANENT AUTOMATED UNDERGROUND FULL COVERAGE IRRIGATION SYSTEM. **SEWER, GAS AND UTILITY SHALL BE REPLACED, SEE CITY STANDARDS.**

**SITE PLAN KEYNOTE**

1	CONSTRUCT NEW DRIVEWAY APPROACH PER CITY STANDARD
2	SCORED CONCRETE DRIVEWAY W/ 1" BORDER, UCIR TAN FROM "COLORFULLY"
3	LANDSCAPE AREA
4	LANDSCAPE AREA
5	CONCRETE WALKWAY
6	NEW STREET LIGHT
7	30"x30" SPLIT PLASTER, STUCCOED TAN TO MATCH BLDG
8	30"x30" SPLIT PLASTER
9	30"x30" SPLIT PLASTER
10	30"x30" SPLIT PLASTER
11	LOW GARDEN WALL
12	STONE PAVING PAD WITH 4" WIDE SYNTHETIC STRIPS
13	STONE PAVING PAD
14	6" VINYL WALL

**PDS STUDIO**  
ARCHITECTURE+DESIGN

TEL: 415.757.8100  
 1238 OAKLAWN RD  
 ARCOLA, CA 94608  
 TEL: 415.234.4402  
 WWW.PDSSTUDIO.COM

PROJECT: SINGLE FAMILY HOME

1238 OAKLAWN RD  
 ARCOLA, CA 94608

PROJECT DATE: 9/28/2023  
 11:18:20 AM

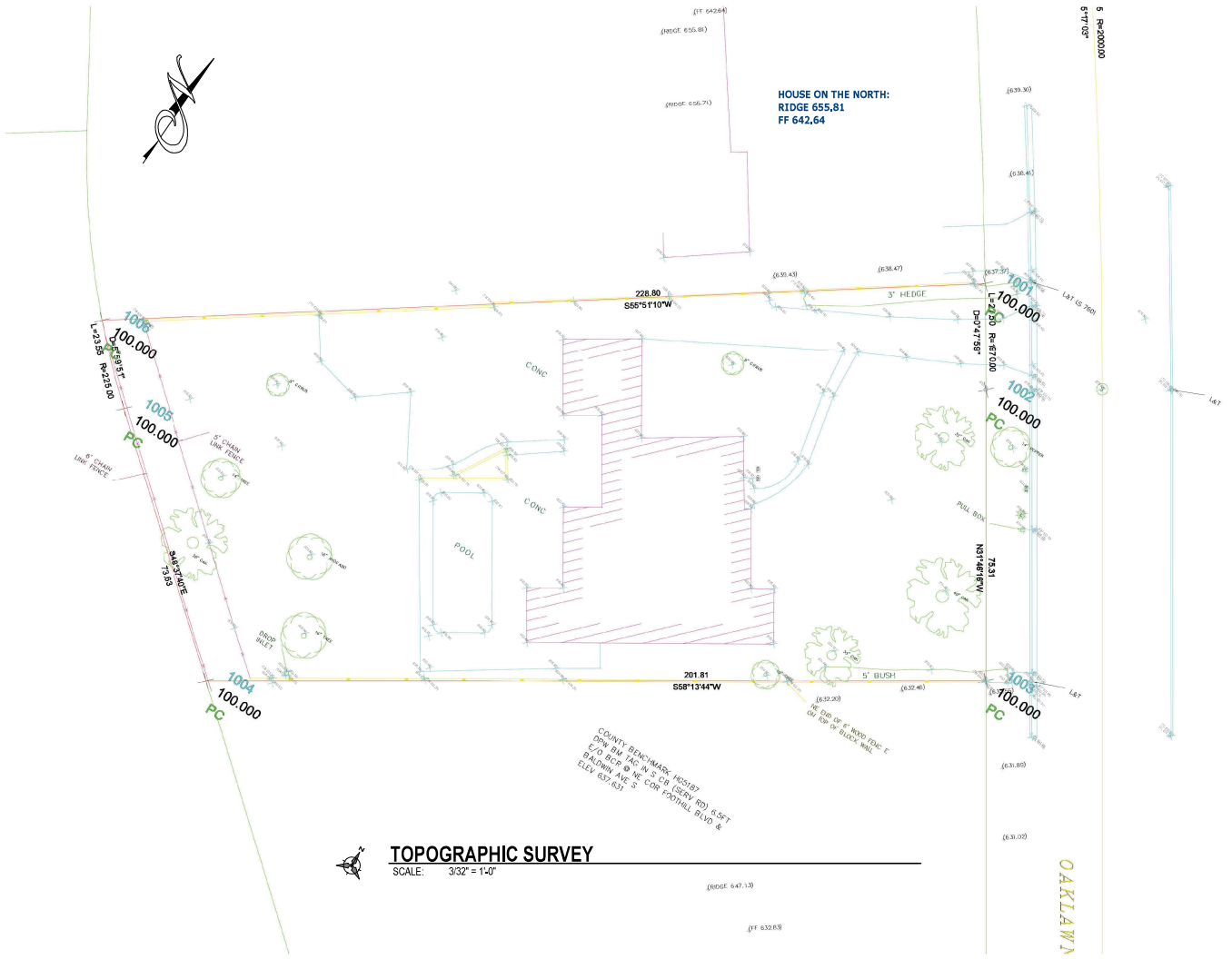
PROJECT NO.:  
 REVISION: DATE:

NOTES:

CHECKED BY: Checker  
 SCALE: As Indicated

**SITE PLAN**

SHEET NO:  
**1**



**TOPOGRAPHIC SURVEY**  
 SCALE: 3/32" = 1'-0"

COUNTY BENCHMARK: JESS157  
 DING BENCH MARK: 44.34  
 E TO BENCH MARK: 10.00 (SERV TO) 6.98 FT  
 OAKLAWN AVE S  
 ELEV 837.831



**PDS STUDIO**  
ARCHITECTURE+DESIGN

TEL: 415.777.8118  
 ARCADIA, CA 91006  
 TEL: 626.294.4022  
 WWW.PDSSTUDIO.COM

ARCHITECT SEAL:

---

PROJECT:

**SINGLE FAMILY HOME**

---

1228 OAKLAWN RD  
 ARCADIA, CA 91006

PLAT DATE: 9/29/2002  
 11/19/01

PROJECT NO:  
 REVISION DATE

---

NOTES:

---

CHECKED BY: *Chedar*  
 DATE: 3/27/04

**TOPOGRAPHIC SURVEY**

SHEET NO:

1.1



**NEIGHBOR COMPARISON**  
SCALE: 1/8" = 1'-0"



**AERIAL VIEW**  
SCALE: 1/32" = 1'-0"



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ARCHITECTURE+DESIGN

TEL: 415.777.8118  
ARCADIA, CA 91006  
TEL: 828.284.4422  
WWW.PDSSTUDIO.COM

ARCHITECT SEAL



SINGLE FAMILY HOME

1228 OAKLAWN RD.  
ARCADIA, CA 91006

DATE: 02/22/2022 11:19:03 AM  
PROJECT NO. \_\_\_\_\_  
REVISION DATE \_\_\_\_\_

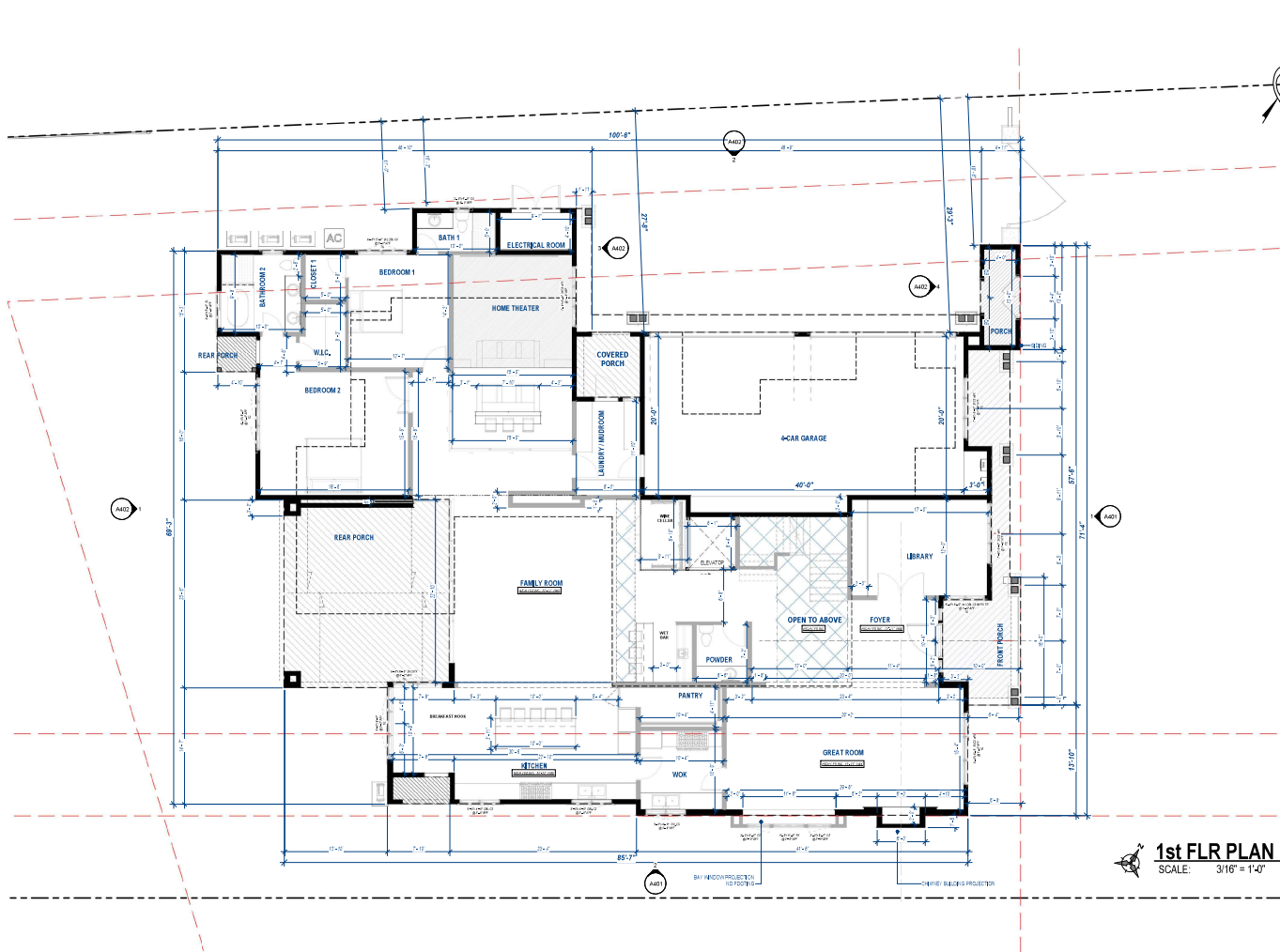
NOTES

CHECKED BY: Checker  
SCALE: As Indicated

**SITE ANALYSIS**

SHEET NO.

**1.2**



**1st FLR PLAN**  
SCALE: 3/16" = 1'-0"



**PDS STUDIO**  
ARCHITECTURE+DESIGN

TEL: 415.757.8118  
ARCOLA, CA 94508  
TEL: 832.234.4422  
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ARCHITECT SEAL: \_\_\_\_\_

PROJECT: \_\_\_\_\_  
**SINGLE FAMILY HOME**

1238 DALLAW RD  
ARCOLA, CA 94508

PLAT DATE: 9/29/2013  
11:19:05 AM

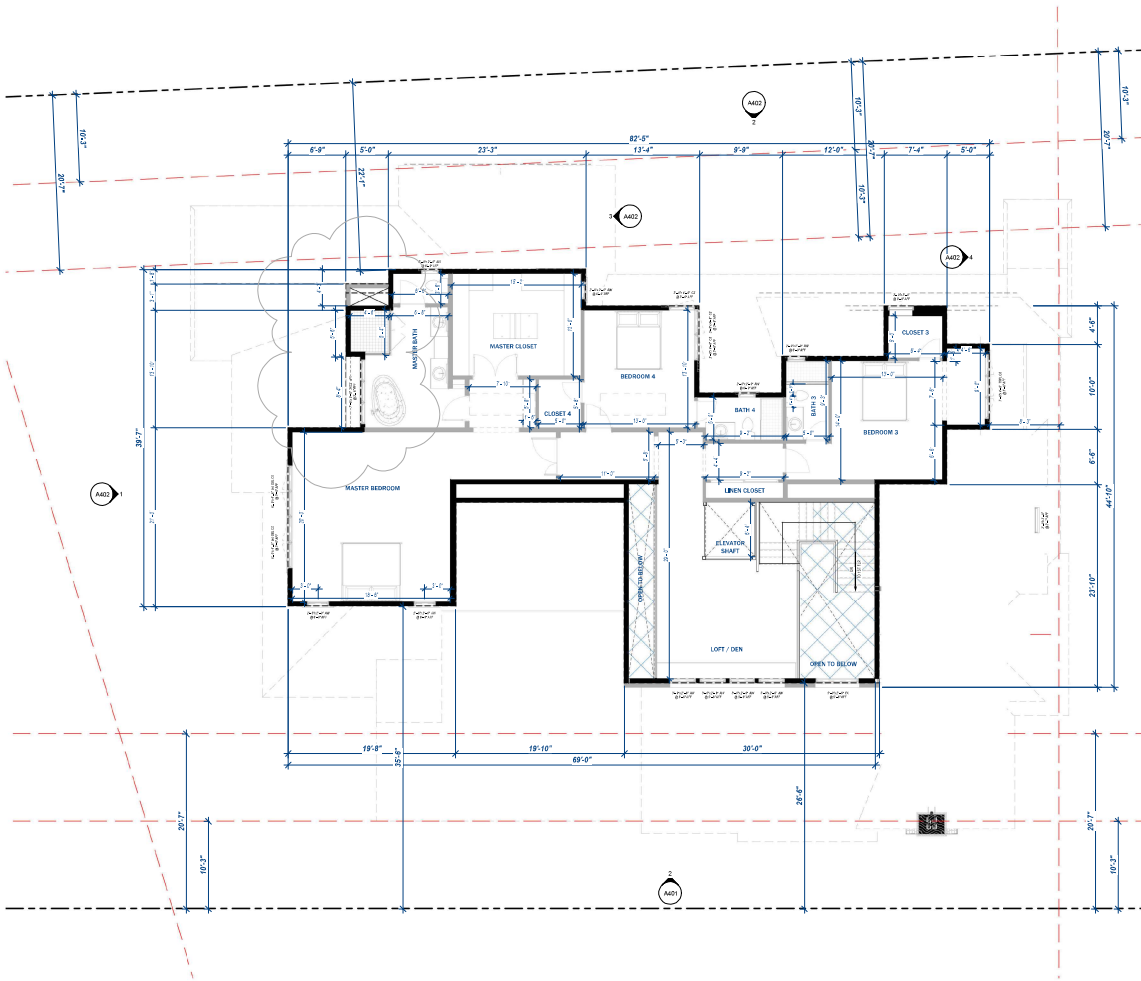
PROJECT NO. \_\_\_\_\_  
REVISION DATE \_\_\_\_\_

NOTES: \_\_\_\_\_

CHECKED BY: *Chakar*  
SCALE: 3/16" = 1'-0"

SHEET NAME: **1st FLOOR PLAN**

SHEET NO.: **2.1**



**2nd FLR PLAN**  
SCALE: 3/16" = 1'-0"





**PDS STUDIO**  
ARCHITECTURE+DESIGN

TEL: 415.757.8116  
ARCOLA, CA 91608  
TEL: 828.284.4622  
WWW.PDSSTUDIO.COM

ARCHITECT SEAL: \_\_\_\_\_

PROJECT: \_\_\_\_\_  
**SINGLE FAMILY HOME**

1228 SHALWAN RD  
ARCOLA, CA 91608

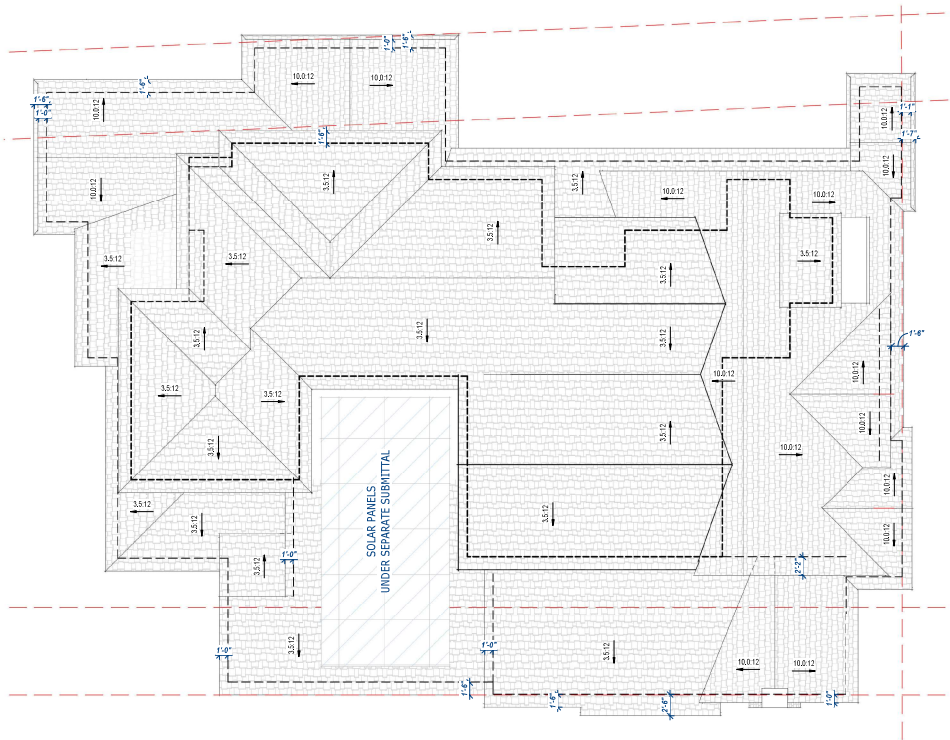
PLAT DATE: 07/28/2013  
11/19/07  
PROJECT NO. \_\_\_\_\_ DATE \_\_\_\_\_  
REVISION \_\_\_\_\_ DATE \_\_\_\_\_  
1 \_\_\_\_\_ DATE 1

NOTES: \_\_\_\_\_

CHECKED BY: *Chedar*  
SCALE: 3/16" = 1'-0"  
DATE: 7-1-13

2nd FLOOR PLAN

SHEET NO:  
**2.2**



**ROOF PLAN**  
SCALE: 3/16" = 1'-0"



**PDS STUDIO**  
ARCHITECTURE+DESIGN

TEL: 415.777.8118  
ARCADIA, CA 91006  
TEL: 858.234.4422  
WWW.PDSSTUDIO.COM

---

ARCHITECT SEAL:

---

PROJECT:

**SINGLE FAMILY HOME**

---

1328 DALLAWA RD  
ARCADIA, CA 91006

PLOT DATE: 9/28/2012  
11:19:00 AM

PROJECT NO. \_\_\_\_\_  
REVISION DATE \_\_\_\_\_

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NOTES:

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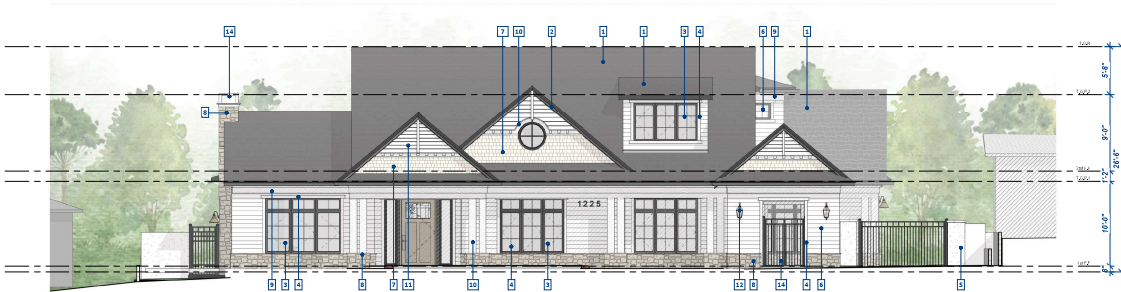
**ROOF PLAN**

---

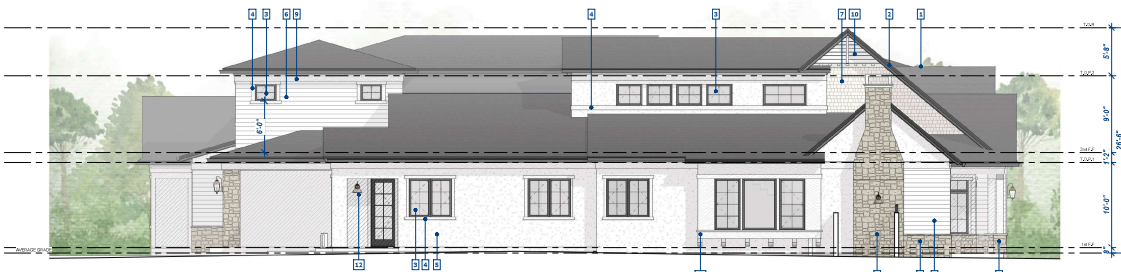
SHEET NO. **3**

**ELEVATION FINISH SCHEDULE**

- |                                                                                                                |                                                                                   |
|----------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------|
| 1. <b>BORAL ROOF TILE</b>   MADERA 900   VINTAGEWOOD                                                           | 10. <b>WOODWORK</b>   WOODWORK BY OTHERS   PAINTED WHITE                          |
| 2. <b>4" FASCIA</b>   DUNN EDWARDS   BLACK                                                                     | 11. <b>DECORATIVE VENT W/ DENTILS</b>   WOODWORK BY OTHERS   PAINTED WHITE        |
| 3. <b>WINDOWS</b>   JELD WEN   SITELINE EX WOOD CLAD   BLACK   7/8" WIDE MUNTIN GRID                           | 12. <b>EXTERIOR LIGHTING</b>   QUOZZEL LIGHTING   TUDOR COLLECTION   MYSTIC BLACK |
| 4. <b>WOOD TRIM</b>   DUNN EDWARDS   PAINTED   WHITE                                                           | 13. <b>GARAGE DOOR</b>   CARRIAGE STYLE GARAGE DOOR   WHITE                       |
| 5. <b>MERLEX STUCCO</b>   SMOOTH FINISH   OATMEAL                                                              | 14. <b>CHIMNEY SHROUD</b>   COLOR COATED ALUMINUM   WHITE                         |
| 6. <b>SIDING</b>   JAMES HARDIE SIDING   6.5" LAP SIDING   PAINTED WHITE                                       | 15. <b>WROUGHT IRON</b>   IRONWORK BY OTHERS   WHITE COLOR                        |
| 7. <b>SIDING AT GABLE</b>   JAMES HARDIE SIDING   STAGGERED PANELS   PAINTED D66229 (DUNN EDWARDS) CALICO ROCK |                                                                                   |
| 8. <b>STONE VENEER</b>   COUGAR STONE   MOCHA NU ERA                                                           |                                                                                   |
| 9. <b>CROWN MOULDING</b>   2X8 WOOD   PAINTED WHITE                                                            |                                                                                   |



① **ELEVATION 1 (FRONT)**  
3/16" = 1'-0"



④ **ELEVATION 2 (SIDE)**  
3/16" = 1'-0"



**PDS STUDIO**  
ARCHITECTURE+DESIGN

TEL: 415.777.6116  
TEL: 828.284.4622  
WWW.PDSSTUDIO.COM

ARCHITECT SEAL

PROJECT:  
**SINGLE FAMILY HOME**

1228 DALYLA RD  
ARCATA, CA 95521

PLOT DATE: 9/29/2022  
11/9/23  
AM

PROJECT NO. DATE

REVISION

NOTES

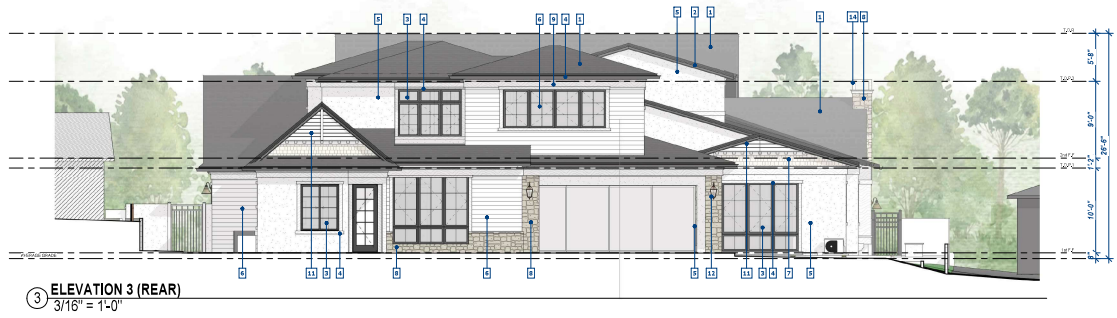
CHECKED BY: *Cherise*

SCALE: 3/16" = 1'-0"

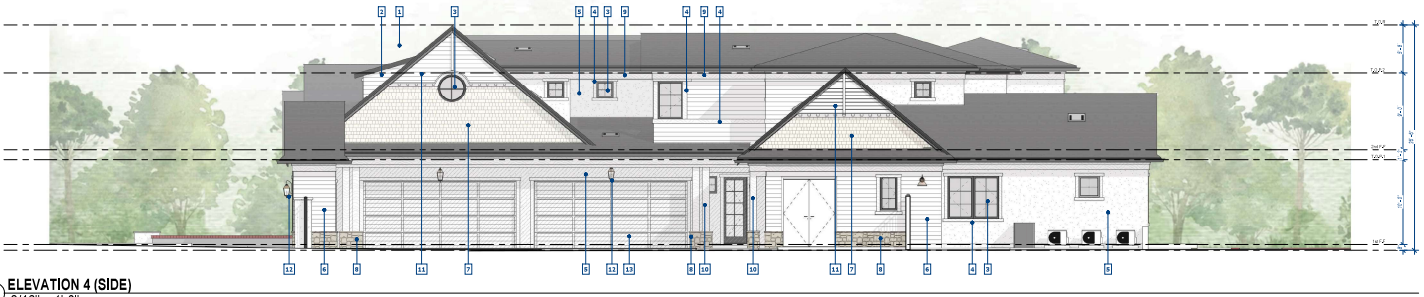
SHEET NAME: ELEVATIONS

SHEET NO.:

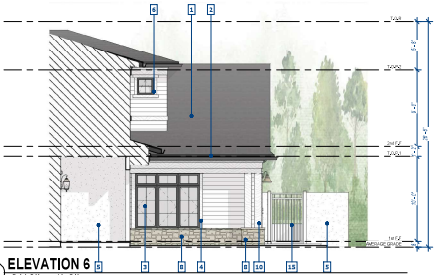
**4**



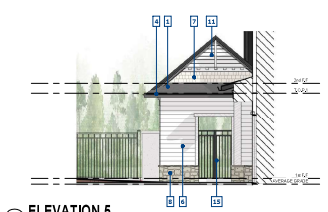
③ ELEVATION 3 (REAR)  
3/16" = 1'-0"



④ ELEVATION 4 (SIDE)  
3/16" = 1'-0"



⑥ ELEVATION 6  
3/16" = 1'-0"



⑤ ELEVATION 5  
3/16" = 1'-0"

**ELEVATION FINISH SCHEDULE**

1. BORAL ROOF TILE   MADERA 900   VINTAGEWOOD	10. WOODWORK   WOODWORK BY OTHERS   PAINTED WHITE
2. 4" FASCIA   DUNN EDWARDS   BLACK	11. DECORATIVE VENT W/ DENTILS   WOODWORK BY OTHERS   PAINTED WHITE
3. WINDOWS   JELD WEN   SITELINE EX WOOD CLAD   BLACK   7/8" WIDE NUNTIN GRID	12. EXTERIOR LIGHTING   QUOIZEL LIGHTING   TUDOR COLLECTION   MYSTIC BLACK
4. WOOD TRIM   DUNN EDWARDS   PAINTED   WHITE	13. GARAGE DOOR   CARRIAGE STYLE GARAGE DOOR   WHITE
5. MERLEX STUCCO   SMOOTH FINISH   OATMEAL	14. CHIMNEY SHROUD   COLOR COATED ALUMINUM   WHITE
6. SIDING   JAMES HARDIE SIDING   6.5" LAP SIDING   PAINTED WHITE	15. WROUGHT IRON   IRONWORK BY OTHERS   WHITE COLOR
7. SIDING AT GABLE   JAMES HARDIE SIDING   STAGGERED PANELS   PAINTED DE6229 (DUNN EDWARDS) CALICO ROCK	
8. STONE VENEER   COUGAR STONE   MOCHA NU ERA	
9. CROWN MOULDING   2X8 WOOD   PAINTED WHITE	

**PDS STUDIO**  
ARCHITECTURE+DESIGN

TEL: ALPHRETT 916-450-1100  
TEL: BOSTON 617-351-1100  
WWW.PDSSTUDIO.COM

ARCHITECT SEAL: \_\_\_\_\_

PROJECT: SINGLE FAMILY HOME

1228 DALLAWAY RD  
ARCATA, CA 95521

PLST DATE: 9/28/2023  
12/19/23 AM

PROJECT NO. \_\_\_\_\_ DATE \_\_\_\_\_

REVISION \_\_\_\_\_

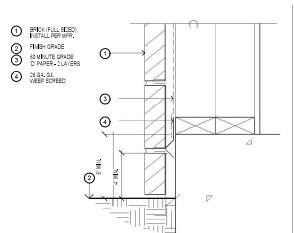
NOTES: \_\_\_\_\_

CHECKED BY: Orlando

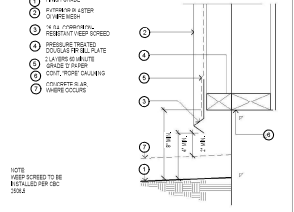
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SHEET NAME: ELEVATIONS

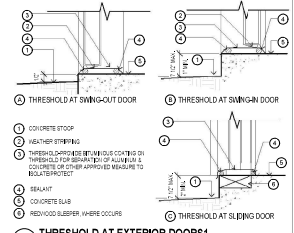
SHEET NO.: **5**



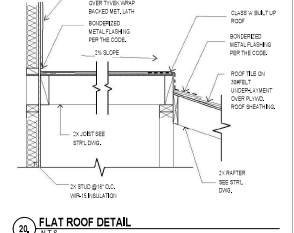
17 BRICK (FULL SIZED) APPLICATION  
N.T.S.



13 WINDOW HEAD W/ WOOD TRIM  
N.T.S.



9 DOOR JAMB W/ WOOD TRIM  
N.T.S.



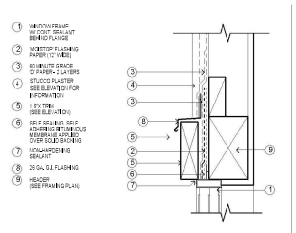
5 RIDGE CAP  
N.T.S.



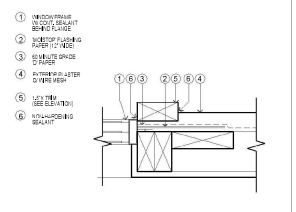
4 EAVE @ PLASTER W/ WOOD TRIM  
N.T.S.



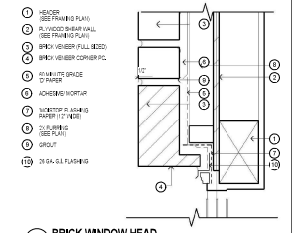
18 WEEP SCREED AT CONC. SLAB  
N.T.S.



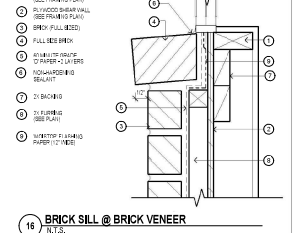
13 WINDOW JAMB W/ WOOD TRIM  
N.T.S.



10 DOOR HEAD W/ WOOD TRIM  
N.T.S.



6 1.4R FIRE RESISTIVE WALL/CLG  
N.T.S.



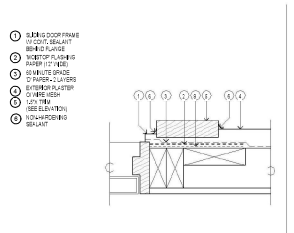
7 TYPICAL WALL 1  
N.T.S.



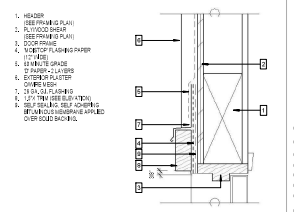
8 TYPICAL INTERIOR WALL  
N.T.S.



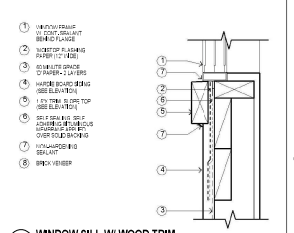
3 RAKE W/ 10" FURROW  
N.T.S.



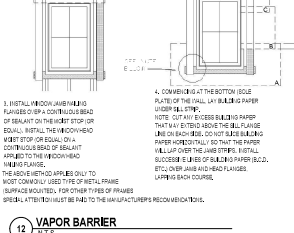
11 WINDOW SILL W/ WOOD TRIM  
N.T.S.



15 BRICK WINDOW HEAD  
N.T.S.



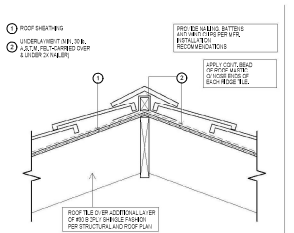
24 FLAT ROOF DETAIL  
N.T.S.



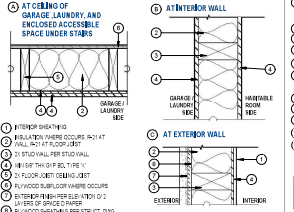
16 BRICK SILL @ BRICK VENEER  
N.T.S.



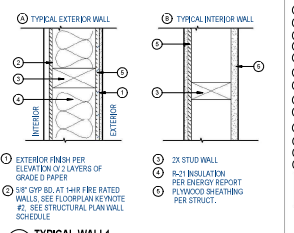
12 VAPOR BARRIER  
N.T.S.



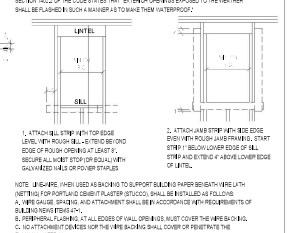
6 1.4R FIRE RESISTIVE WALL/CLG  
N.T.S.



7 TYPICAL WALL 1  
N.T.S.



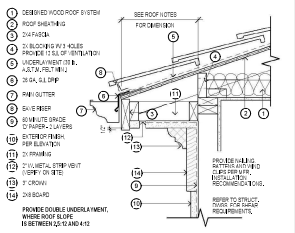
8 TYPICAL INTERIOR WALL  
N.T.S.



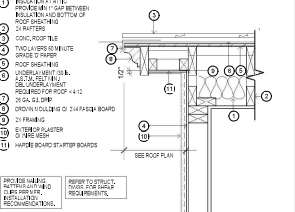
3 RAKE W/ 10" FURROW  
N.T.S.



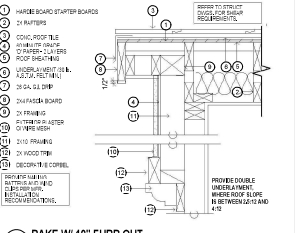
4 VALLEY FLASHING 1  
N.T.S.



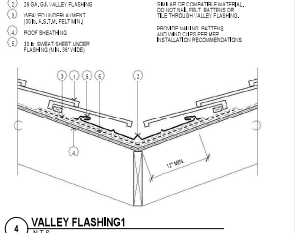
13 WINDOW HEAD W/ WOOD TRIM  
N.T.S.



9 DOOR JAMB W/ WOOD TRIM  
N.T.S.



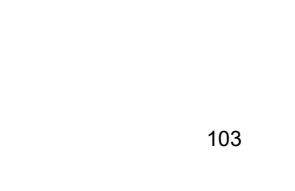
6 1.4R FIRE RESISTIVE WALL/CLG  
N.T.S.



7 TYPICAL WALL 1  
N.T.S.



8 TYPICAL INTERIOR WALL  
N.T.S.



3 RAKE W/ 10" FURROW  
N.T.S.

**PDS STUDIO**  
ARCHITECTURE+DESIGN

TEL: 415.759.4158  
ARREDON, CA 94508  
TEL: 415.234.4422  
WWW.PDSSTUDIO.COM

PROJECT: 2401  
C-38915  
SINGLE FAMILY HOME

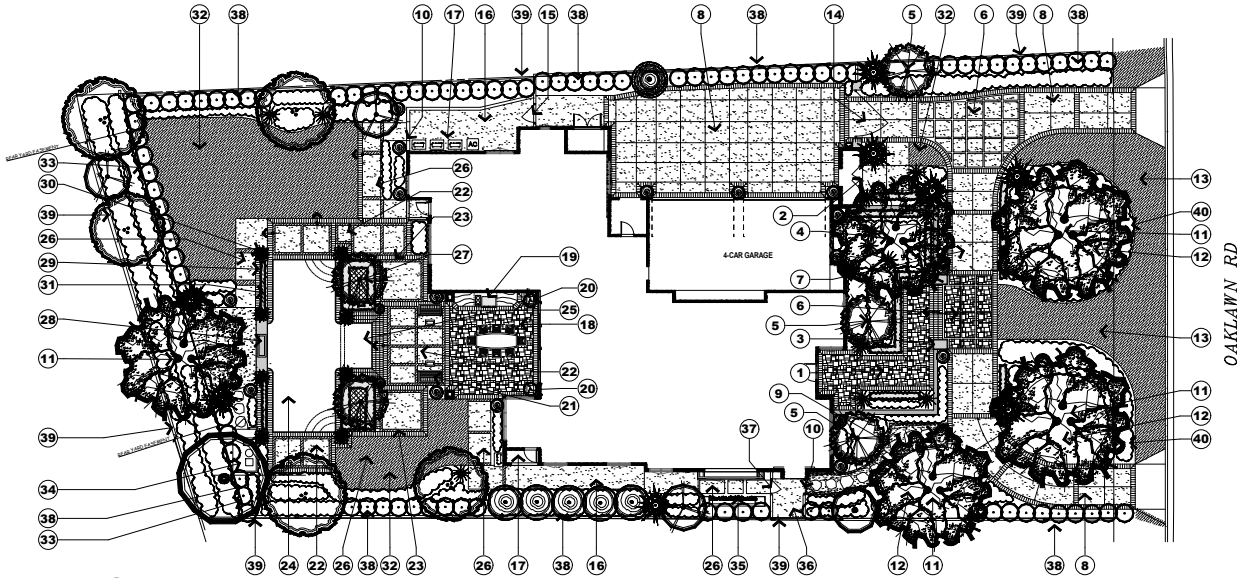
1228 DALLAN RD.  
ARREDON, CA 94508

DATE: 02/22/2022 11:19:23 AM  
PROJECT NO. 2401  
DATE

DESIGNED BY: [checked]  
REVISED: [as indicated]

ARCHITECTURAL DETAILS

SHEET NO. 6



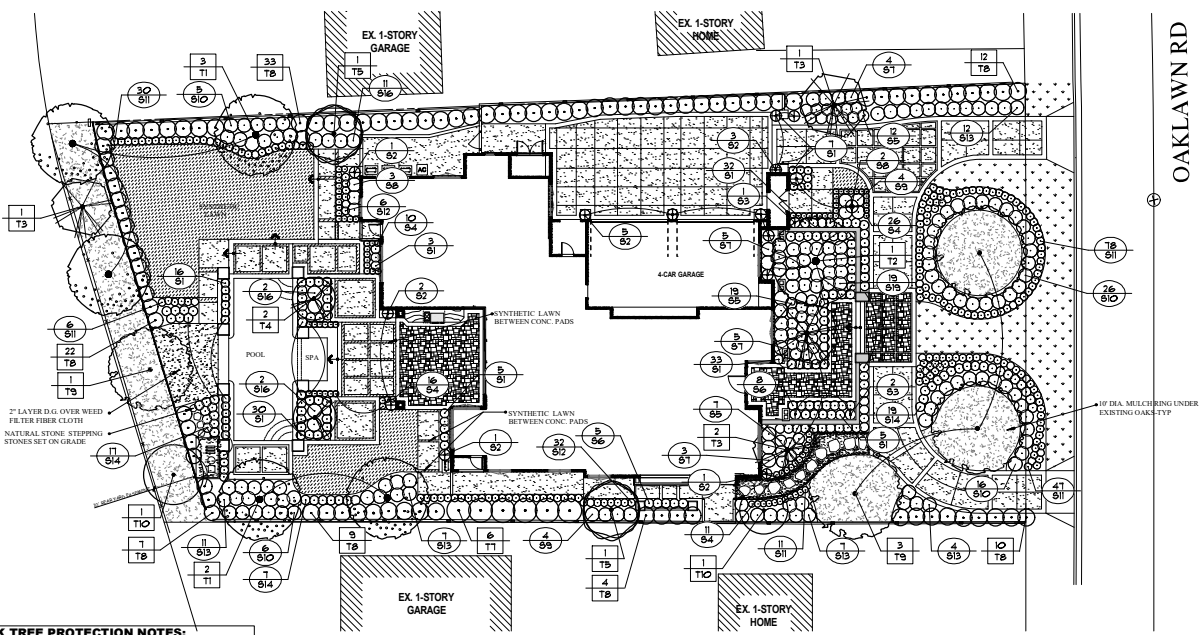
**LEGEND:**

- |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>1. ENTRY w/ CONCRETE or STONE PAVERS, OWNER'S CHOICE, WITH 12" WIDE BRICK BANDS.</p> <p>2. SIDE ACCESS GATE PER ARCHITECT.</p> <p>3. 24" X 36" X 24" HIGH STUCCO PEDESTAL w/ CONCRETE CAP.</p> <p>4. NEW OAK TREE TO MATCH EXISTING SPECIES.</p> <p>5. SMALL ACCENT PATIO TREE PER OWNER'S CHOICE.</p> <p>6. DROP-OFF AREA WITH CONCRETE OR STONE PAVER PADS AS SHOWN, w/ 5" WIDE SYNTHETIC TURF STRIPS IN BETWEEN.</p> <p>7. DRIVEWAY WITH CONCRETE, 12" WIDE BRICK BANDS.</p> <p>8. WASH FINISHED COLORED CONCRETE DRIVEWAY, SCORED AS SHOWN, WITH 12" WIDE BRICK BANDS.</p> <p>9. GRAVEL ACCESS PATH TO SIDE GATE, WITH FLAGSTONE STEP STONES.</p> <p>10. 6' HIGH WOOD FENCE w/ LOCKABLE POOL SAFE GATE.</p> | <p>11. EXISTING OAK TREE. PROTECT IN PLACE.</p> <p>12. 3" THICK MULCH AREA BENEATH OAK TREES.</p> <p>13. SODDED FESCUE LAWN TURF.</p> <p>14. WROUGHT IRON DRIVEWAY VEHICLE ACCESS GATE.</p> <p>15. PAIR OF WROUGHT IRON PEDESTRIAN GATES.</p> <p>16. WASH FINISHED COLORED CONCRETE, SCORED AS SHOWN.</p> <p>17. A.C. UNIT(S)</p> <p>18. REAR COVERED PATIO w/ CONCRETE OR STONE PAVERS, OWNER'S CHOICE, WITH 12" WIDE BRICK BANDS, AND OUT DOOR DINING TABLE &amp; CHAIRS OF OWNER'S CHOICE.</p> <p>19. 38" HIGH GRANITE BBQ COOK COUNTER WITH BBQ GRILL &amp; SIDE BURNERS UNDER VENT HOOD.</p> <p>20. DECORATIVE POTTED PLANT.</p> <p>21. OUTDOOR BENCH &amp; COFFEE TABLE (2 LOCATIONS)</p> | <p>22. 3" THICK WASH FINISHED COLORED CONCRETE PADS w/ 6" SYNTHETIC TURF STRIPS IN BETWEEN.</p> <p>23. 12" WIDE BRICK BAND, TYPICAL.</p> <p>24. NEW 14'x38' CUSTOM POOL w/ 12" WIDE BRICK COPING.</p> <p>25. NEW 6" RAISED 6'x10' CUSTOM SPA w/ 10' SPILLWAY INTO POOL, BRICK DECKING.</p> <p>26. 3" THICK WASH FINISHED COLORED CONCRETE PADS w/ 12" SYNTHETIC TURF STRIPS IN BETWEEN.</p> <p>27. ACCENT PATIO TREE w/ SEASONAL COLOR PLANTED BENEATH, AND LOW HEDGE SURROUND. (2 LOCATIONS)</p> <p>28. 18" HIGH STUCCO WALL w/ CONCRETE CAP AND GARDEN ART ATOP PER OWNER'S CHOICE.</p> <p>29. 12" HIGH STUCCO PLANTER WALL w/ BRICK CAP.</p> <p>30. 30" SQ. x 24" HIGH STUCCO PEDESTAL w/ CONCRETE CAP &amp; POTTED PLANT ATOP. (8 LOCATIONS)</p> <p>31. LOW SCREEN HEDGE.</p> | <p>32. SYNTHETIC TURF PER OWNER'S CHOICE.</p> <p>33. NEW 6' HIGH WHITE VINYL FENCE ON EASEMENT LINE.</p> <p>34. POOL EQUIPMENT AREA w/ 6' WOOD SCREEN FENCE &amp; GATE.</p> <p>35. LIVING GREEN WALL w/ ONRMENTALS OR HERBS, OWNER'S CHOICE.</p> <p>36. TRASH CAN AREA w/ WASH FINISHED COLORED CONCRETE, SCORED AS SHOWN.</p> <p>37. 6'-0" HIGH VINYL FENCE &amp; GATE.</p> <p>38. SIDE YARD / PROPERTY LINE SCREEN PLANTING.</p> <p>39. EXISTING PROPERTY LINE WALL / FENCE.</p> <p>40. LOW-WATER USE PLANTINGS.</p> |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

**NOTE:**  
FOR EXACT PLANTING SPECIFICATIONS SEE PLANTING PLAN SHEET L4



<b>PROJECT</b>		<b>HOU RESIDENCE</b>	
<b>SITE</b>		<b>1225 OAKLAWN RD. ARCADIA, CA 91006</b>	
<b>LANDSCAPE ARCHITECTURE</b>		<b>LANDSHAPE INC.</b>	
<b>MARK A. CLEMONS LICENSE #0795</b>		<b>1000 DE LA CAZA BLVD. SUITE 100</b>	
<b>TEL: (916) 915-0086</b>		<b>ARCADIA, CA 91006</b>	
<b>SHEET TITLE</b>			
<b>CONCEPT PLAN</b>			
DATE: 12/23/2022	SCALE: 1"=10'	DRAWN BY: [Signature]	CHECKED BY: [Signature]
DATE: [ ]	DATE: [ ]	DATE: [ ]	DATE: [ ]
<b>JOB NO. 2123</b>			
<b>SHEET L1</b>			



**OAK TREE PROTECTION NOTES:**  
 CONTRACTOR SHALL PROTECT ALL EXISTING OAK TREE ROOTS IN ACCORDANCE WITH ARBORIST REPORT AND OAK TREE PROTECTION NOTES ON PLANTING PLAN / IRRIGATION PLANS SHEETS L2 & L3. ANY ROOT PRUNING OF OAK TREES NECESSARY SHALL BE DONE UNDER THE SUPERVISION OF PROJECT ARBORIST. CONTRACTOR SHALL REVIEW ARBORIST REPORT PRIOR TO START OF PROJECT FOR OAK TREE PROTECTION FENCING AND PRESERVATION PROCEDURES

**GENERAL TREE PROTECTION NOTES:**  
 TEMPORARY PROTECTIVE FENCING SHALL BE INSTALLED IF NECESSARY, AND CARE TAKEN TO AVOID DAMAGE TO TREE CANOPIES OR ROOT SYSTEMS DURING CONSTRUCTION, GRADING AND TRENCHING. USE HAND TOOLS WHEN WORKING AROUND ROOTS, AND DO NOT CUT ROOTS 2" IN DIAMETER OR LARGER. NO WASHING OF CHEMICALS OR EQUIPMENT SHOULD BE ALLOWED UNDER TREE CANOPIES. PROVIDE OCCASIONAL DEEP WATERING AS NECESSARY TO KEEP TREES HEALTHY UNTIL THE NEW IRRIGATION SYSTEM IS INSTALLED.

**MULCHING NOTE:**  
 ALL NON-TURN PLANTING AREA NOT EXCEEDING 10% SLOPE SHALL RECEIVE A 3" LAYER OF 1" TO 2" MAXIMUM DIAMETER WOOD SHAVINGS MULCH

Tree	Botanical Name	Common Name	Size / Spacing / Spacing	WUCOLS #4
T1	Olea europaea 'Wilsoni'	Wilson's Fruitless Olive	8-8 Multi Field Grwn (17' x 15')	L
T2	Olea europaea	Common Olive	8-8 Multi Field Grwn (17' x 15')	L
T3	Lagerströmia indica 'Catawba'	Orange Muskateel	24" Box STD. (9' x 8' x 8')	M
T4	Diospyros 'Dorland's Compact'	Little Gem Magnolia	24" Box STD. (9' x 8' x 8')	M
T5	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	24" Box STD. (9' x 8' x 8')	M
T6	Lagerströmia indica 'Natchez'	Orange Muskateel	24" Box STD. (9' x 8' x 8')	M
T7	Podocarpus glaucolab	Fern Pine	24" Box STD. (9' x 8' x 8')	M
T8	Prinos caroliniana	Carolina Cherry	24" Box STD. (9' x 8' x 8')	M
T9	Quercus sp.	Existing Quercus sp.	Protect in place	
T10	Quercus sp.	Existing Quercus sp.	Protect in place	

Symbol	Botanical Name / Description / Size & Spacing	WUCOLS #4
[Symbol]	Dwarf Fescue - Marathon II Lawn from sod installed with shovel cut edge - typical (front yard only)	H
[Symbol]	Synthetic turf - Fibra Smart Turf or approved equal. www.smarturf.net PH: 800-421-6723. Exact style to be chosen by homeowner (rear yard only)	
[Symbol]	3" Cover - Shredded Bark Mulch - Forest Floor Bark Mulch - 6-2" or approved equal. Source: Aguinaga Fertilizer Company Irvine, CA (949) 786-9558	
[Symbol]	3" Cover - Shredded Bark Mulch Only - Forest Floor Bark Mulch - 6-4" or approved equal. Source: Aguinaga Fertilizer Company Irvine, CA (949) 786-9558	

Symbol	Botanical Name / Description / Size & Spacing	WUCOLS #4
[Symbol]	Japanese Boxwood	5 GAL @ 24" O.C. M
[Symbol]	Texas Preety - Cone Topary	15 GAL PER PLAN M
[Symbol]	Green Mountain Brunis	15 GAL PER PLAN M
[Symbol]	Dwarf Escovyich	1 GAL @ 18" O.C. M
[Symbol]	Dwarf Indian Hawthorn	1 GAL @ 30" O.C. M
[Symbol]	Facel Heather	1 GAL @ 24" O.C. M
[Symbol]	Dwarf Yucca	1 GAL @ 30" O.C. M
[Symbol]	Bright Cherry	15 GAL TWO TIER POODLE M
[Symbol]	Dwarf Pittosporum	1 GAL @ 30" O.C. L
[Symbol]	Dwarf Yucca	1 GAL @ 30" O.C. L
[Symbol]	Germanir	1 GAL @ 18" O.C. L
[Symbol]	Dwarf Lily of the Nile	1 GAL @ 30" O.C. L
[Symbol]	Little Iron Bottlebrush	1 GAL @ 30" O.C. L
[Symbol]	Hidcote Lavender	1 GAL @ 24" O.C. L
[Symbol]	Magenta Rockrose	1 GAL @ 30" O.C. L
[Symbol]	Red Carpet Rose	5 GAL @ 30" O.C. M

**LANDSHAPE INC.**  
 1225 OAKLAWN RD. ARCADIA, CA 91706  
 (916) 485-1100  
 WWW.LANDSHAPEINC.COM

**PROJECT**  
**HOU RESIDENCE**  
 SITE

**PLANTING PLAN**

**JOB NO. 2123**

**SHEET L4**

**NORTH**

# Attachment No. 6

## Preliminary Arborist's Report

**1225 Oaklawn Rd Arcadia, CA 91006**

Prepared for:

**Philip Chan c/o PDS Studio  
711 First Ave Arcadia, CA 91006  
Arcadia, CA 91006**

October 12, 2021

Prepared by:

***Javier Cabral Consulting Arborist***  
International Society of Arborists # WE- 8116A

1390 El Sereno Ave  
Pasadena, California 91103  
(626)818-8704  
[jtcabral@sbcglobal.net](mailto:jtcabral@sbcglobal.net)



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Certificate of performance & Disclosure Statement -----	pg. 28
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## Summary

Mr. Chan,

You have retained my consulting arborist services to provide a tree inventory and protection plan for the property described as 1225 Oaklawn Rd. Arcadia, CA 91006. You are in the planning and permitting process of demolishing the existing single-family home and redeveloping the property with a new two-story single-family home.

The proposed demolition and construction is expected to have minimal impact to the protected trees that will remain due to the distance of excavations, trenches, and footings to the tree trunks. A complete tree protection plan will be included to protect above and below ground tree parts from physical damage, soil compaction, and chemical damage.

## Background and assignment

Mr. Chan has requested that I provide the following arboricultural services.

- 1) Identify all significant trees and protected trees on the property and label them on the architectural drawings as provided to the arborist by Mr. Philip Chan.
- 2) Evaluate the current health of the trees and possible impacts of the proposed construction based on the provided site plan and make recommendations.
- 3) Provide a tree protection plan that will help ensure the short and long term health of the protected trees that will remain during and after construction activities are completed.

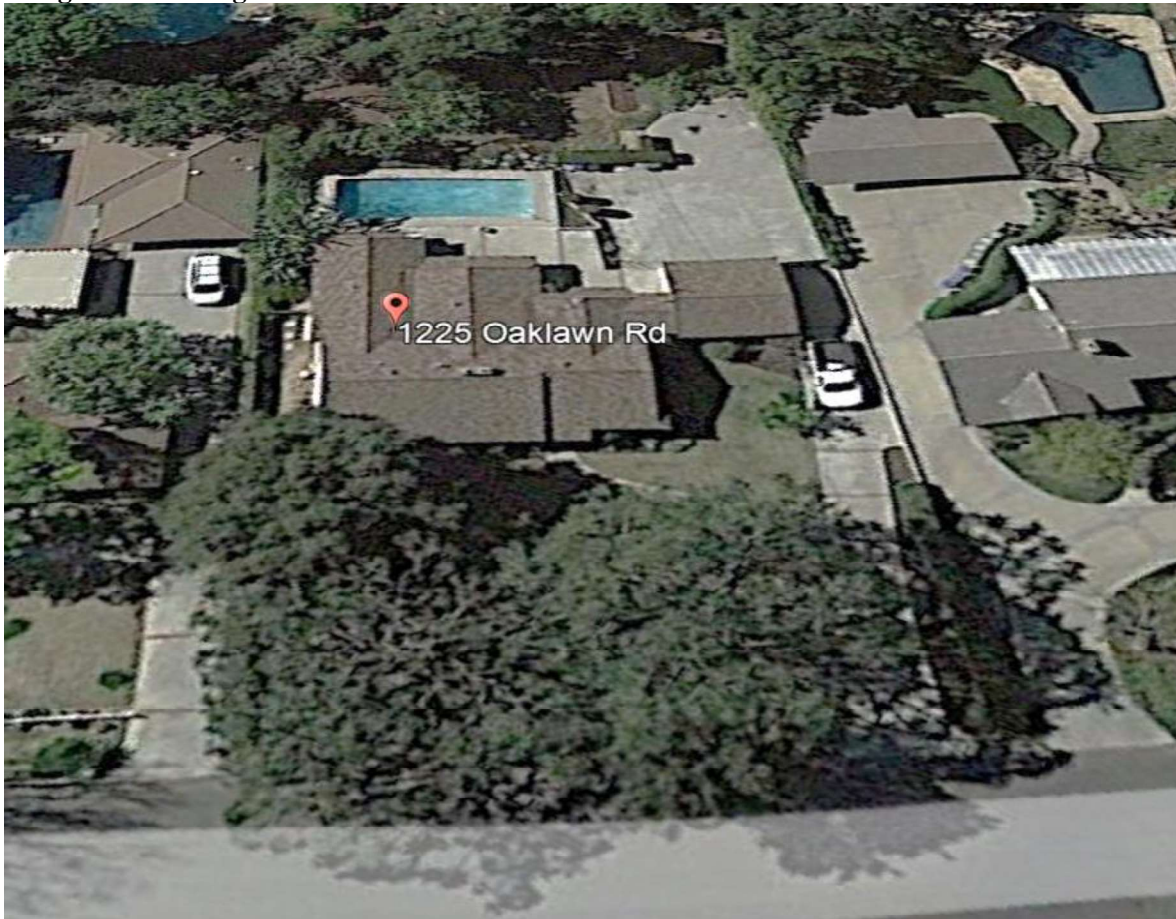
The following report is based on my site visit on February 23, 2020 and my analysis of the trees, site plan, and surrounding landscape. For the purpose of this report I will address these trees as **Trees # 1 thru 12.**

## Site conditions

A one-story single-family home currently exists on this property located 1225 Oaklawn Rd. Arcadia, CA 91006.

- 1) There are 12 total trees on the subject property of which 5 trees are protected by the City of Arcadia Tree Protection Ordinance due to their location and species.
- 2) There are no protected trees proposed to be removed.

## Google Earth Image



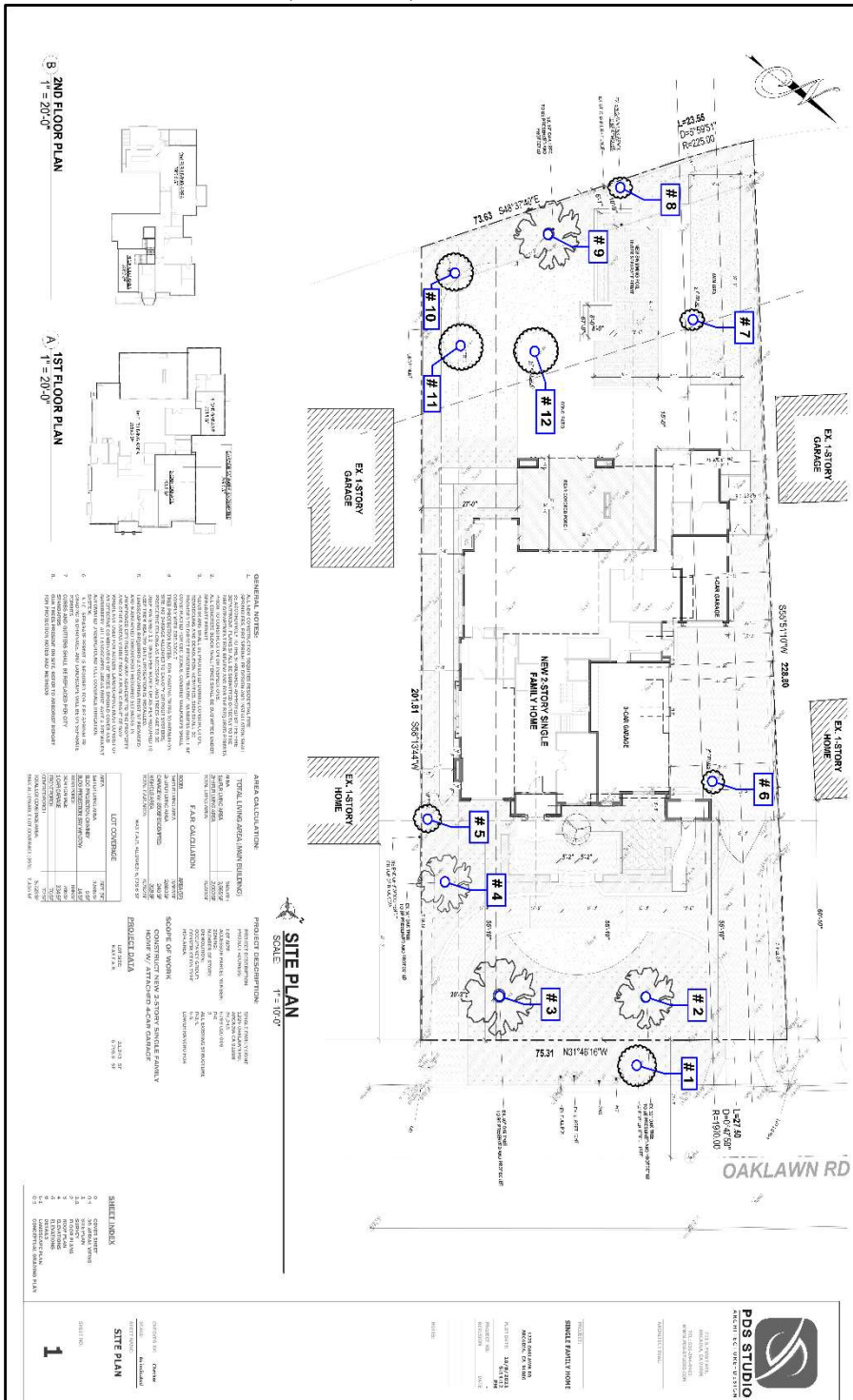
**General Tree Condition Rating Guidelines** (one or more of the below mentioned defects may not be present but one or more may be so extensive that it may downgrade a tree that would otherwise qualify for example, a (C) grade to a (D) grade due to the severity of the defect. As the consulting arborist I will make any annotation when the aforementioned conditions are the case so that the grade is better understood. Each tree will be rated as an individual tree with its structure, canopy, and root system.

- A) - Healthy, vigorous tree, reasonably free of disease, with good structure and form typical of the species.
- B) - A tree with slight decline in vigor, small amount of twig dieback, minor structural defects that could be corrected.
- C) - A tree with moderate vigor, moderate twig and small branch dieback, thinning crown, poor leaf color, moderate structural defects that might be mitigated.
- D) – A tree in decline, epicormics growth, extensive dieback of medium to large branches, significant structural defects that cannot be abated.
- F) – A tree in severe decline, dieback of scaffold branches and or trunk, mostly epicormics growth, extensive structural defects that cannot be abated.

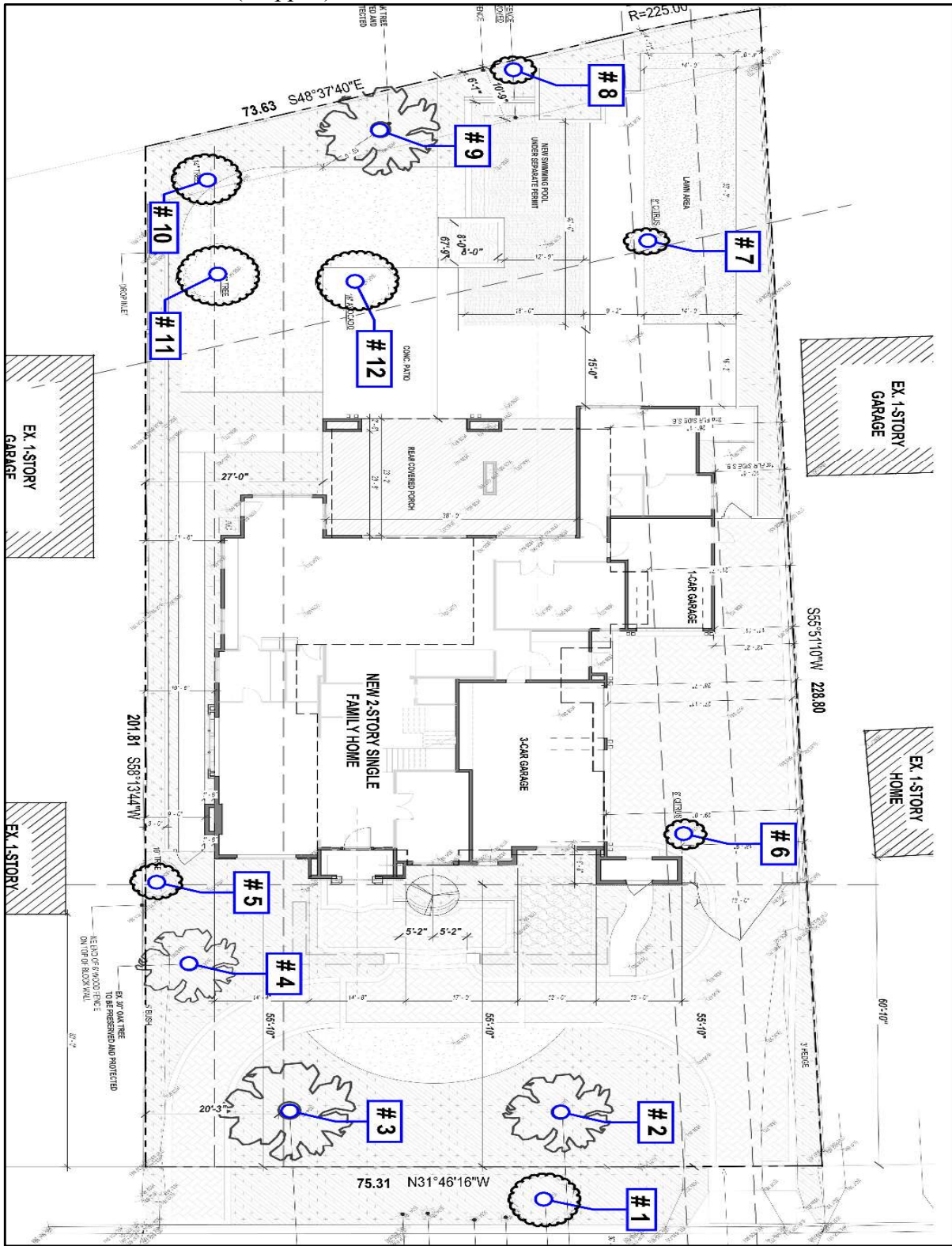
**List Inventory pg. 1**

Tree #	Common Name	Botanical Name	Diameter at 4.5 feet (dbh) In inches	Height (in feet)	Spread (in feet)	Health condition rating	Protection status	REMOVE or Preserve	Comments
1	Holly Oak	Quercus ilex	13	40	30	B	YES	preserve	Unbalanced canopy
2	Coast live oak	Quercus agrifolia	11+39	70	51	B	YES	preserve	
3	Coast live oak	Quercus agrifolia	16+55	60	36	D	YES	preserve	Severe trunk decay, fungal conks, sparse canopy, & severe deadwood.
4	Coast live oak	Quercus agrifolia	20+24	80	40	B	YES	preserve	
5	Carolina cherry	Prunus caroliniana	8	15	8	D	NO	<b>REMOVE</b>	Large decayed surface root
6	Lemon	Citrus limon	1+1+1+1+ 2+2+2+3	8	8	C	NO	<b>REMOVE</b>	
7	Orange	Citrus paradisi	1+1+1+2+2 +2+3+3+3	12	12	C	NO	<b>REMOVE</b>	
8	Shamel ash	Fraxinus uhdei	4+10	30	24	B	NO	<b>REMOVE</b>	Topped for line clearance
9	Coast live oak	Quercus agrifolia	29	85	36	C	YES	preserve	
10	Pecan	Carya illinoensis	13	45	22	C	NO	<b>REMOVE</b>	Covered in Ivy
11	Crape myrtle	Lagerstroemia indica	2+2+3+4+ 5+5+6+7	25	15	B	NO	<b>REMOVE</b>	Moderately topped
12	Avocado	Persea americana	8+9+15	30	27	C	NO	<b>REMOVE</b>	Moderately topped & modereaye dead

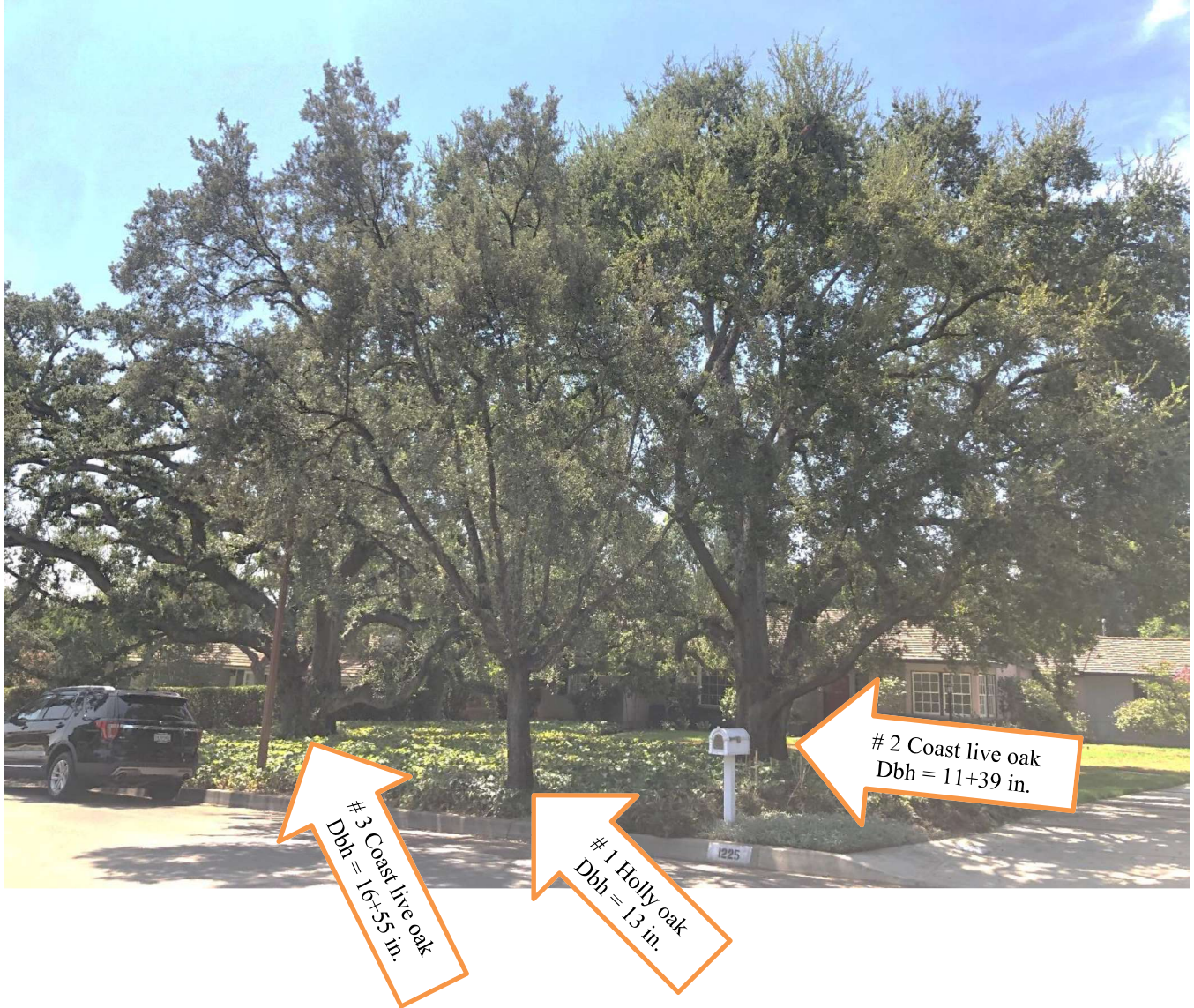
# Site Plan With Trees (Full scale)



Site Plan With Trees (cropped)



**Trees # 1 thru 3 (facing southwest)**



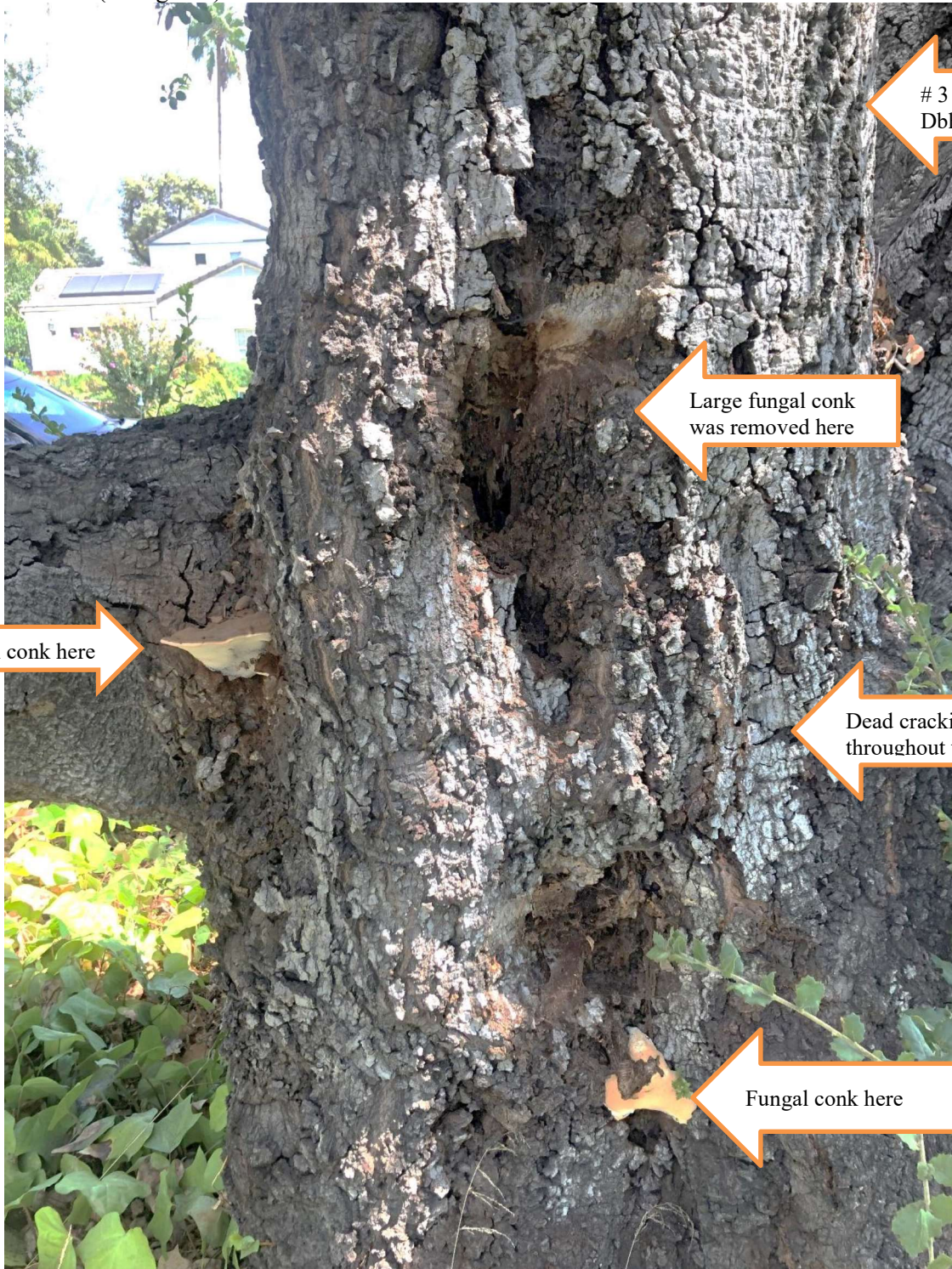
**Tree # 3 (facing south)**



Sparse canopy

# 3 Coast live oak  
Dbh = 16+55 in.

Tree # 3 (facing east)



# 3 Coast live oak  
Dbh = 16+55 in.

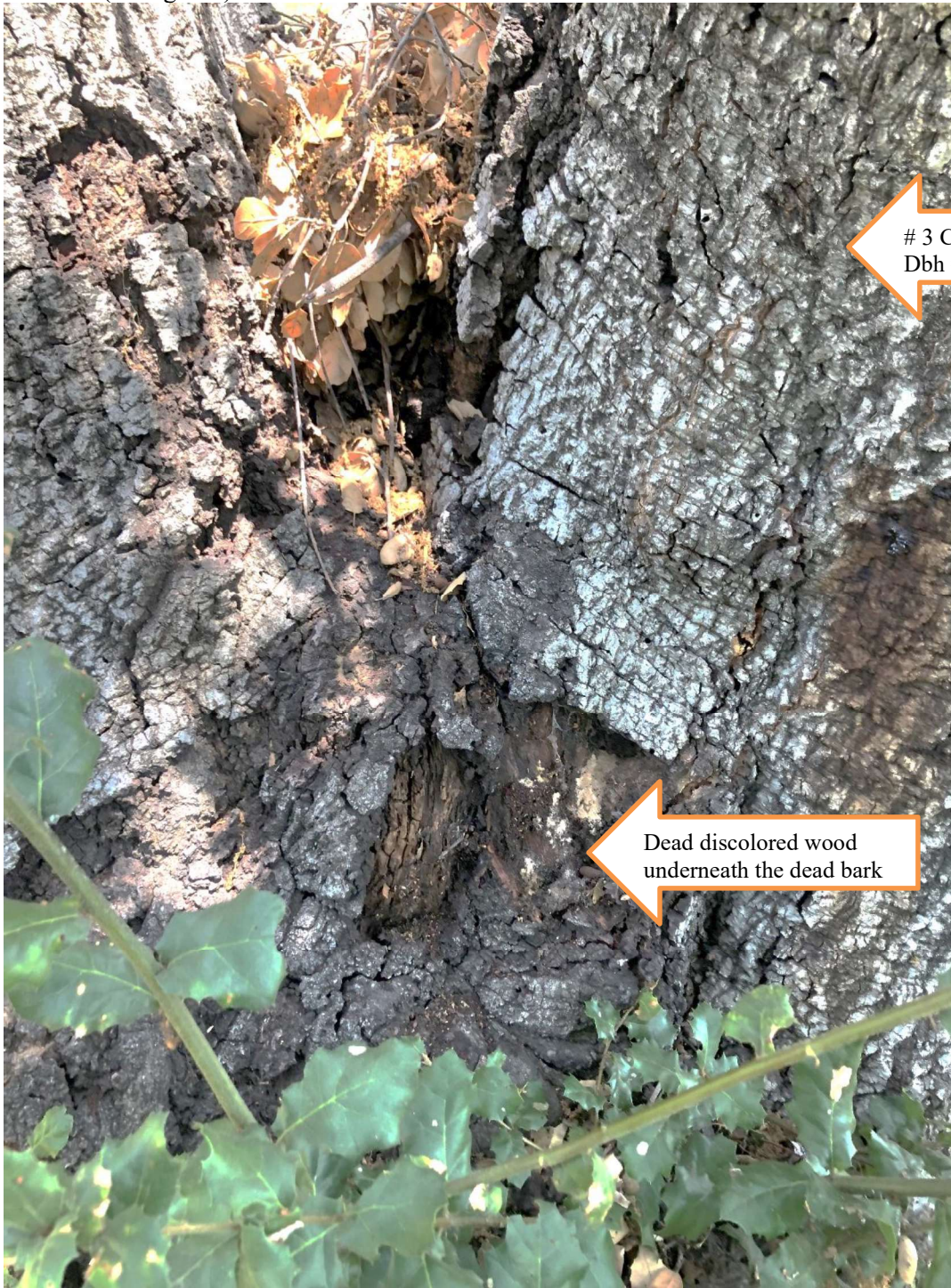
Large fungal conk  
was removed here

Fungal conk here

Dead cracking bark  
throughout the lower trunk

Fungal conk here

Tree # 3 (facing east)



# 3 Coast live oak  
Dbh = 16+55 in.

Dead discolored wood  
underneath the dead bark

**Tree # 4 (facing west)**



Tree # 5 (facing southwest)



**Tree # 6 (facing west)**



**Tree # 7 (facing north)**



**Tree # 8 (facing west)**



**Tree 9 (facing south)**



# 9 Coast live oak  
Dbh = 29 in.

**Tree # 10 (facing southwest)**



# 10 Pecan  
Dbh = 13 in.

**Tree # 11 (facing east)**



**Tree 12 (facing east)**

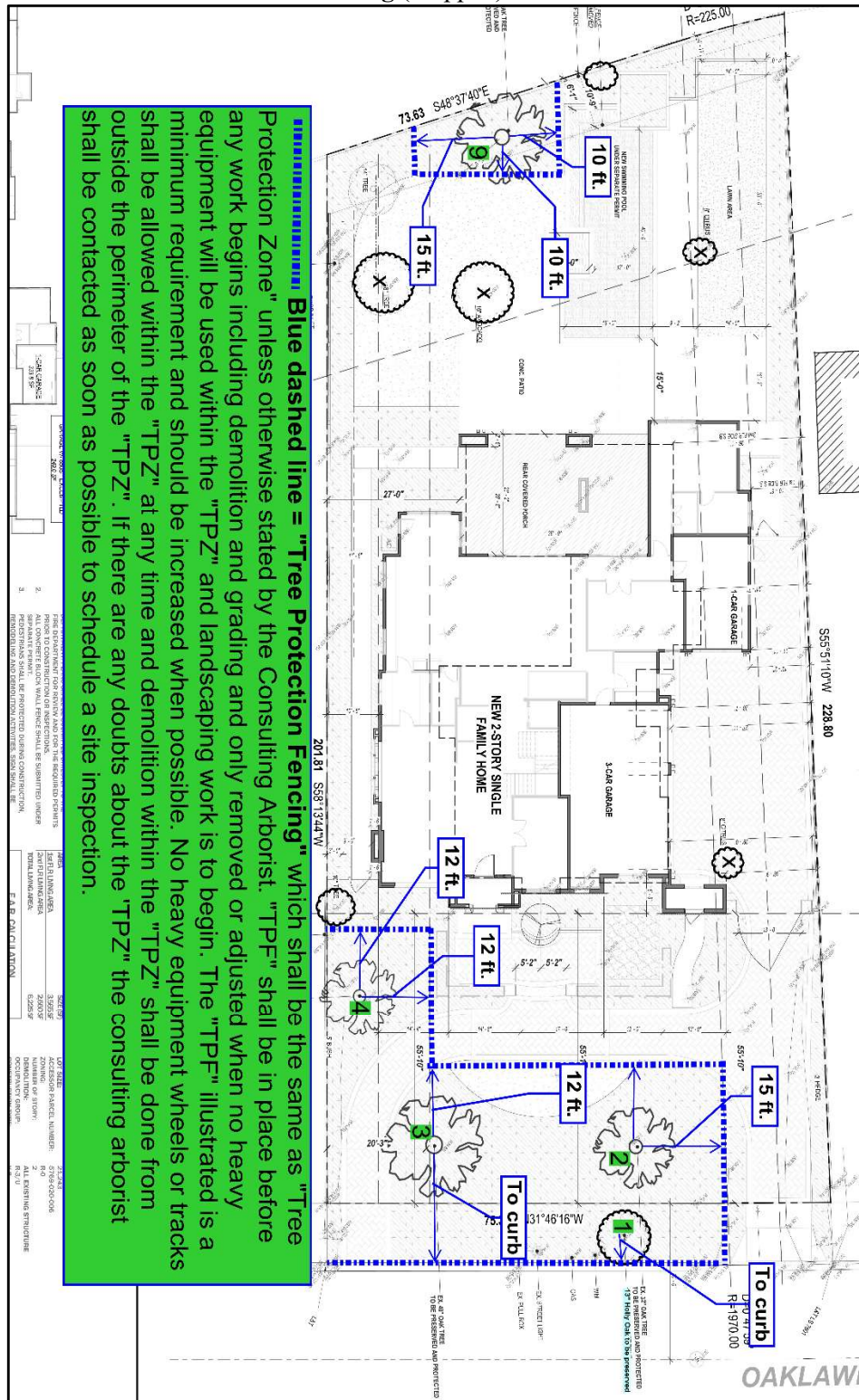


## General Tree Protection Plan

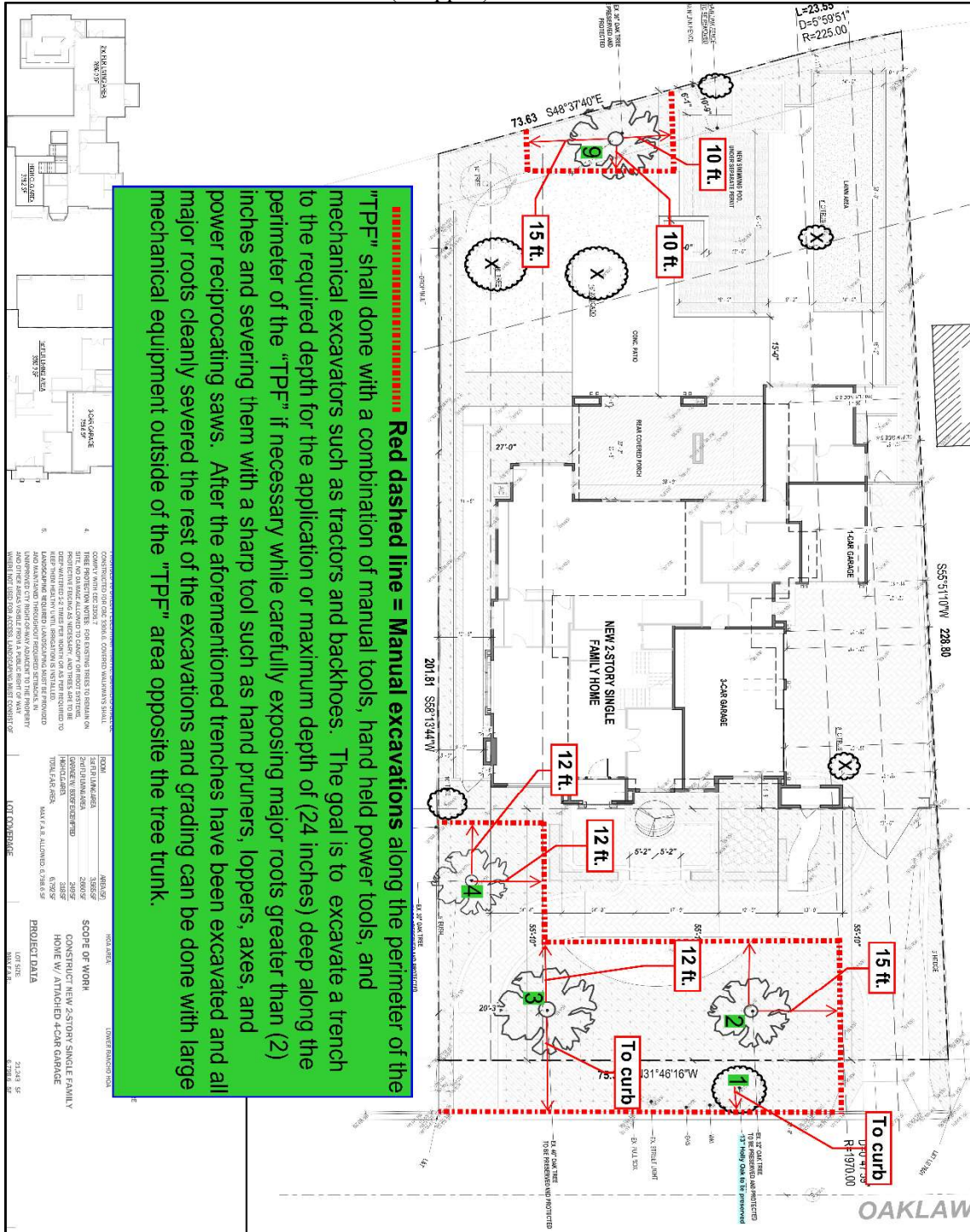
- 1) **Avoid damaging the roots, stem, and branches** with mechanical and manual equipment. No roots shall be severed within the Tree Protection Zone “TPZ” which is the same as the area within the Tree Protection Fencing “TPF.” Roots greater than two inches in diameter outside of the TPZ shall be cleanly severed with a sharp tool such as a hand saw or manual pruners.
- 2) **Avoid soil compaction** by prohibiting the use of heavy equipment such as backhoes and bobcats under the tree drip line. If access within the TPZ is required during the construction process, the route shall be covered in a 6 inch layer of mulch in the TPZ and the area shall be aerated and fertilized at the conclusion of construction.
- 3) **Do not store or park tools**, equipment, vehicles, or chemicals under the tree drip line. No equipment or debris of any kind shall be placed within the TPZ. No fuel, paint, solvent oil, thinner, asphalt, cement, grout, or any other construction chemical shall be stored or allowed in any manner to enter within the TPZ.
- 4) **Avoid washing of equipment** and tools such as wheel barrels, shovels, and mechanical motors under the tree drip line.
- 5) **Prevent flooding and pooling** of service water under the drip line. Grade changes that will flood the TPZ are prohibited unless a drainage plan is implemented. No grade changes within the TPZ shall be allowed.
- 6) **Avoid cutting tree roots whenever possible.** This can sometimes be accomplished by bridging roots, tunneling, or radial trenching. If roots must be cut use a sharp tool that will make a clean flush cut and not tear the roots. If possible all digging under the tree drip line should be done manually to avoid tearing out of roots. Roots outside of the TPZ may be cleanly severed vertically with a sharp garden tool.
- 7) **Do not raise or lower the grade** within the tree protection zone of any protected trees unless approved by the project arborist. Roots greater than 1 inch in diameter that are exposed or damaged shall be cut with a sharp tool such as a hand saw, pruners, or loppers and covered with soil in conformance to industry standards as soon as possible. If any work is required within the TPZ the Arborist shall be consulted previous to beginning. The Arborist shall be contacted as soon as possible to arrange for a timely inspection and prevent delays.

- 8) Protection fencing shall be 5 to 6 ft. high chain link freestanding panels or secured to posts driven into the ground. There shall be no entry gates into the protected zones. **The protection fencing shall be in place before demolition begins and shall only be removed or reduced when all heavy equipment such as back-hoes, bobcats, loaders, and other heavy equipment with tires and tracks will not be required.** Fencing can be adjusted or sections reduced or removed as the project advances into the landscaping phases of the project. The consulting arborist shall be contacted if there are doubts about the placement or removal of fencing.
  
- 9) **Landscape preparation & excavation within the TPZ** shall be limited to the use of hand tools and small hand-held power tools and shall not be of a depth that could cause root damage. No attachments or wires other than those of a protective or non-damaging method shall be attached to a protected tree.
  
- 10) **Construction personnel should be briefed** on the importance of the guidelines before construction begins and reminded of it during tailgate meetings and as necessary. A printed copy should be posted where employees can be reminded of it.

Site Plan With Protection Fencing (cropped)



Site Plan With Manual Excavations (Cropped)



## Tree # 1 Holly oak Protection Details

- a) **Structural excavation and over-excavation:** Tree # 1 is a very long distance from structural excavations and no work is proposed anywhere near the drip line. Impact is expected to be zero.
- b) **New driveway:** The new section of driveway adjacent to this tree is proposed in the footprint of the existing driveway and the impact to this Oak tree from the new driveway is expected to be minimal to zero.
- c) **New Landscaping:** The removal of the existing plants and ground cover under the drip line of this tree shall be done manually with manual tools only to prevent severe root disturbance and damage.
- d) **New Sprinklers:** No broadcast trenching for sprinklers shall be performed within 12 ft. of the edge of the tree trunk on all sides of this tree. The sprinkler water shall not wet the trunk of this tree to prevent fungal infection from persistent trunk moisture.
- e) **Canopy pruning:** No pruning of this tree will be required to complete the proposed construction project.
- f) **Root pruning:** Roots within 12 ft. from the trunk that are encountered for the proposed driveway and sprinkler excavations shall be cleanly severed in a vertical position.
- g) **Protection Fencing:** shall consist of 6 ft. high chain link free standing panels and shall be in place before any works begins including demolition. All protection fencing may be removed or reduced when all heavy equipment and major construction is completed and landscaping is ready to be installed.
- h) **Maintenance:** During the hot summer months this tree shall be watered as needed until the sprinkler system is installed and working.
- i) **Encroachment impacts:** *This project is expected to have a minimal to zero impact* on the short- or long-term health of this tree and it is expected to survive in good health if the protection recommendations are followed and adhered to. **minimal impact means** that no roots greater than two inches are expected to be impacted and no interruption to water uptake or nutrient production, transportation, or storage. Tree stability and anchorage, trunk, branch, and leaves are not expected to be impacted.

## Trees # 2 thru 4 Coast live oak trees Protection Details

- a) **Structural excavation and over-excavation:** Structural excavations do not encroach into the drip line of the canopy of Trees # 2 & 3. The structural excavations for the front of the house encroach slightly into the drip line of Tree # 4 but the impact is expected to be minimal because the foundations are very close to the existing foundations where roots disturbance is expected to be minimal.
- b) **New driveway:** The new section of driveway adjacent to these trees is at a distance that is acceptable and the impact to these Oak trees from the new driveway is expected to be minimal to moderate.
- c) **New Landscaping:** The removal of the existing plants and ground cover under the drip line of this tree shall be done manually with manual tools only to prevent severe root disturbance and damage.
- d) **New Sprinklers:** No broadcast trenching for sprinklers shall be performed within 12 ft. of the edge of the tree trunk on all sides of these trees. The sprinkler water shall not wet the trunk of this tree to prevent fungal infection from persistent trunk moisture.
- e) **Canopy pruning:** No pruning of these trees will be required to complete the proposed construction project.
- f) **Root pruning:** Roots encountered during the excavation for the new circular driveway shall be cleanly severed with a sharp tool and cut in a vertical position.
- g) **Protection Fencing:** shall consist of 6 ft. high chain-link free-standing panels and shall be in place before any works begins including demolition. All protection fencing may be removed or reduced when all heavy equipment and major construction is completed, and landscaping is ready to be installed.
- h) **Maintenance:** During the hot summer months these trees shall be watered as needed until the sprinkler system is installed and working.
- i) **Encroachment impacts:** *This project is expected to have a minimal to moderate impact* on the short- or long-term health of this tree and it expected to survive in their existing health if the protection recommendations are followed and adhered to. **Moderate impact means** that roots greater than two inches are expected to be impacted but no interruption to water uptake or nutrient production, transportation, or storage. Tree stability and anchorage, trunk, branch, and leaves are not expected to be impacted.

## Tree # 9 Coast live oak trees Protection Details

- a) **Structural excavation and over-excavation:** The proposed new house encroaches slightly into the drip line of this Oak tree. Impact is expected to be minimal.
- b) **New Concrete Patio & Swimming Pool:** The edge of the excavation for the proposed concrete patio and proposed swimming pool on the side of the tree trunk shall be manually excavated as described on **pg. # 25**.
- c) **New Landscaping:** The removal of the existing plants and ground cover under the drip line of this tree shall be done manually with manual tools only to prevent severe root disturbance and damage.
- d) **New Sprinklers:** No broadcast trenching for sprinklers shall be performed within 12 ft. of the edge of the tree trunk on all sides of these trees. The sprinkler water shall not wet the trunk of this tree to prevent fungal infection from persistent trunk moisture.
- e) **Canopy pruning:** No pruning of this tree beyond the removal of dead wood will be required to complete the proposed construction project.
- f) **Root pruning:** Roots encountered during the excavation for the new concrete patio and swimming pool shall be exposed and cleanly severed with a sharp vertical cut.
- g) **Protection Fencing:** shall consist of 6 ft. high chain-link free-standing panels and shall be in place before any works begins including demolition. All protection fencing may be removed or reduced when all heavy equipment and major construction is completed, and landscaping is ready to be installed.
- h) **Maintenance:** During the hot summer months this tree shall be watered as needed until the sprinkler system is installed and working.
- i) **Encroachment impacts:** *This project is expected to have a minimal impact* on the short- or long-term health of this tree and it expected to survive in good health if the protection recommendations are followed and adhered to. **minimal impact means** that no roots greater than two inches are expected to be impacted and no interruption to water uptake or nutrient production, transportation, or storage. Tree stability and anchorage, trunk, branch, and leaves are not expected to be impacted.

## Certificate of Performance & Limiting Conditions

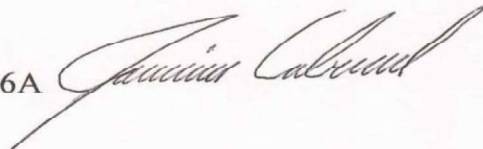
I Javier Cabral certify the following:

- No warranty is made, expressed or implied, that problems or deficiencies of the trees or the property will not occur in the future, from any cause. The Arborist shall not be responsible for damages or injuries caused by any tree defects, and assume no responsibility for the correction of defects or tree related problems.
- The owner and client of the trees may choose to accept or disregard the recommendations of the Arborist or seek additional advice if the owner decides not to accept the Arborists findings or recommendations.
- The Arborist has no past, present or future interest in the removal or preservation of any tree. The opinions contained in the Arborist report are independent and objective judgements of the Arborist.
- The findings, opinions, and recommendations of the Arborist are based on based on the physical inspection of said property. The opinions are based on knowledge, experience, and education.
- The Arborist shall not be required to provide testimony, provide site monitoring, provide further documentation for changes beyond the control of the Arborist, be deposed, or to attend any meeting without contractual arrangements for additional fees to the Arborist.
- The Arborist assumes no responsibility for verification of ownership or location of property lines, or for any recommendations based on inaccurate information.
- This Arborist report may not be reproduced without the expressed written permission of the Arborist and the client to whom the report was provided to. Any changes or alteration of this report invalidates the entire report.
- Arborists are tree specialists who use their education, knowledge, training and experience to examine trees, recommend measures to enhance the beauty and health of trees, make recommendations to prevent or minimize damage to trees during and after construction projects, and attempt to reduce the risk of living near trees. Clients may choose to accept or disregard the recommendations of the arborist, or to seek additional advice.
- Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Trees are living organisms that fail in ways we do not fully understand. Conditions are often hidden within trees and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specified period of time. Likewise, remedial treatments, like any medicine, cannot be guaranteed.
- Treatment, pruning and removal of trees may involve considerations beyond the scope of the arborist's services such as property boundaries, property ownership, site lines, disputes between neighbors, and other issues. Arborists cannot take such considerations into account unless complete and accurate information is disclosed to the arborist. An arborist should then be expected to reasonably rely upon the completeness and accuracy of the information provided.
- Trees can be managed, but they cannot be controlled. To live near trees is to accept some degree of risk. The only way to eliminate all risk associated with trees is to eliminate all trees.

Thank you and feel free to contact me if you have any questions or concerns.

Yours truly,

Javier Cabral / Consulting arborist  
1390 El Sereno Ave Pasadena, Ca 91103  
International Society of Arboriculture # WE 8116A

A handwritten signature in black ink that reads "Javier Cabral". The signature is written in a cursive style with a large, sweeping initial "J".

# Attachment No. 7

## Preliminary Exemption Assessment



# PRELIMINARY EXEMPTION ASSESSMENT

(Certificate of Determination  
When Attached to Notice of Exemption)

1. Name or description of project:	A new 6,138 square foot, two-story, Cape Cod style residence with an attached four-car garage, and several covered porches totaling 1,075 square feet at 1225 Oaklawn Road								
2. Project Location – Identify street address and cross streets or attach a map showing project site (preferably a USGS 15' or 7 1/2' topographical map identified by quadrangle name):	1225 Oaklawn Road, Arcadia, CA 91006								
3. Entity or person undertaking project:	<table style="width: 100%; border-collapse: collapse;"> <tr> <td colspan="2" style="border-bottom: 1px solid black;">A.</td> </tr> <tr> <td colspan="2" style="border-bottom: 1px solid black;">B. Other (Private)</td> </tr> <tr> <td style="width: 10%; border-right: 1px dotted black; padding: 2px;">(1) Name</td> <td style="padding: 2px;">Yaping Zhu, Dawen Gao, Yan Zhao</td> </tr> <tr> <td style="border-right: 1px dotted black; padding: 2px;">(2) Address</td> <td style="padding: 2px;">310 Cambridge Drive, Arcadia, CA 91006</td> </tr> </table>	A.		B. Other (Private)		(1) Name	Yaping Zhu, Dawen Gao, Yan Zhao	(2) Address	310 Cambridge Drive, Arcadia, CA 91006
A.									
B. Other (Private)									
(1) Name	Yaping Zhu, Dawen Gao, Yan Zhao								
(2) Address	310 Cambridge Drive, Arcadia, CA 91006								
4. Staff Determination:	<p>The Lead Agency's Staff, having undertaken and completed a preliminary review of this project in accordance with the Lead Agency's "Local Guidelines for Implementing the California Environmental Quality Act (CEQA)" has concluded that this project does not require further environmental assessment because:</p>								
a. <input type="checkbox"/>	The proposed action does not constitute a project under CEQA.								
b. <input type="checkbox"/>	The project is a Ministerial Project.								
c. <input type="checkbox"/>	The project is an Emergency Project.								
d. <input type="checkbox"/>	The project constitutes a feasibility or planning study.								
e. <input checked="" type="checkbox"/>	<table style="width: 100%; border-collapse: collapse;"> <tr> <td colspan="2" style="border-bottom: 1px solid black;">The project is categorically exempt.</td> </tr> <tr> <td style="width: 40%; border-right: 1px dotted black; padding: 2px;">Applicable Exemption Class:</td> <td style="padding: 2px;">15303(a) – Construction of a new home</td> </tr> </table>	The project is categorically exempt.		Applicable Exemption Class:	15303(a) – Construction of a new home				
The project is categorically exempt.									
Applicable Exemption Class:	15303(a) – Construction of a new home								
f. <input type="checkbox"/>	<table style="width: 100%; border-collapse: collapse;"> <tr> <td colspan="2" style="border-bottom: 1px solid black;">The project is statutorily exempt.</td> </tr> <tr> <td style="width: 40%; border-right: 1px dotted black; padding: 2px;">Applicable Exemption:</td> <td style="padding: 2px;"></td> </tr> </table>	The project is statutorily exempt.		Applicable Exemption:					
The project is statutorily exempt.									
Applicable Exemption:									
g. <input type="checkbox"/>	The project is otherwise exempt on the following basis:								
h. <input type="checkbox"/>	<table style="width: 100%; border-collapse: collapse;"> <tr> <td colspan="2" style="border-bottom: 1px solid black;">The project involves another public agency which constitutes the Lead Agency.</td> </tr> <tr> <td style="width: 40%; border-right: 1px dotted black; padding: 2px;">Name of Lead Agency:</td> <td style="padding: 2px;"></td> </tr> </table>	The project involves another public agency which constitutes the Lead Agency.		Name of Lead Agency:					
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Name of Lead Agency:									

Date: November 9, 2022

Staff: Fiona Graham, Planning Services Manager



**ARCADIA PLANNING COMMISSION  
REGULAR MEETING MINUTES  
TUESDAY, NOVEMBER 8, 2022**

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**CALL TO ORDER** Chair Thompson called the meeting to order at 7:00 p.m.

**ROLL CALL**

PRESENT: Chair Thompson, Vice Chair Tsoi, Tallerico, and Wilander

ABSENT: Hui

Commissioner Wilander made a motion to excuse Commissioner Hui from the meeting, seconded by Commissioner Tallerico.

**SUPPLEMENTAL INFORMATION FROM STAFF REGARDING AGENDA ITEMS**

Ms. Flores provided a revised copy of the Minutes of the October 11, 2022 meeting, which included minor changes from Commissioner Tallerico.

**PUBLIC COMMENTS (5 minute time limit per person)**

There were none.

**PUBLIC HEARING**

1. **Resolution No. 2105** – Approving Conditional Use Permit No. CUP 22-09 with a Categorical Exemption under the California Environmental Quality Act (CEQA) to allow the sale of beer and wine within the existing convenience store at the Valero service station located at 102 E. Duarte Road

**Recommendation:** Adopt Resolution No. 2105

**Applicant:** Jerry and Steve Madain

**MOTION- PUBLIC HEARING**

Chair Thompson introduced the item and Assistant Planner Alison MacCarley presented the staff report.

Chair Thompson asked staff to confirm that the number of parking spaces at the site is not being considered with this item. Ms. MacCarley confirmed that was correct.

There were no further questions by the Commissioners.

Steve Madain, Applicant, thanked the Commission for their time and stated their intention of increasing business and remaining competitive with similar businesses by being able to offer beer and wine sales at their convenience store.

The Commissioners had no questions for the Applicant.

There was one speaker in opposition of the item.

Jane Hu, a nearby resident, expressed concerns regarding the existing electric charging stations on the property and the hours of operation for the convenience, however since the Applicant is no longer extending the business hours, it is no longer an issue for her. Ms. Hu did not express any concerns with the proposed sale of beer and wine.

It was moved by Commissioner Tallerico, seconded by Commissioner Wilander, to close the public hearing. Without objection, the motion was approved.

## **DISCUSSION**

Commissioner Tallerico felt the request was straightforward and with no concerns from the Fire or Police Departments, was in favor of approval.

Commissioner Wilander and Vice Chair Tso agreed with Commissioner Tallerico's comments and felt that the request to sell beer and wine was common and reasonable for a service station. They were in favor of approval.

Chair Thompson agreed with the rest of the Commission and was in support of the item.

## **MOTION**

2. It was moved by Commissioner Tallerico, seconded by Commissioner Wilander to adopt Resolution No. 2105, thereby approving Conditional Use Permit No. CUP 22-09 with a Categorical Exemption under the California Environmental Quality Act (CEQA) to allow the sale of beer and wine within the existing convenience store at the Valero service station located at 102 E. Duarte Road, and that the proposal satisfies the requisite findings.

## **ROLL CALL**

AYES: Chair Thompson, Vice Chair Tsoi, Tallerico, Wilander  
NOES: None  
ABSENT: Hui

*There is a ten day appeal period after the adoption of the Resolution. Appeals are to be filed by 5:30 p.m. on Monday, November 21, 2022.*

## **CONSENT CALENDAR**

3. Minutes of the October 11, 2022, Regular Meeting of the Planning Commission

**Recommendation:** Approve

It was moved by Commissioner Tallerico, seconded by Commissioner Wilander to approve the minutes of the October 11, 2022, Planning Commission Regular Meeting, as amended by Commissioner Tallerico.

## **ROLL CALL**

AYES: Chair Thompson, Vice Chair Tsoi, Tallerico, Wilander  
NOES: None  
ABSENT: Hui

**MATTERS FROM CITY COUNCIL LIAISON**

Council Member Tay mentioned the City’s measures are on the ballot tonight and its election night.

**MATTERS FROM THE PLANNING COMMISSONERS**

Commissioner Tallerico discussed the use of terms such as “discouraged” in reference to materials that are unsupported by the City’s Development Code and Design Guidelines. He asked if the Commission would consider changing this type of language in favor of a more objective type of phrasing. Assistant City Attorney Mike Maurer clarified that this type of change would need to come from the City Council first, typically brought forward by staff, and Council may then ask for input from the Planning Commission. Commissioner Tallerico understood the process and expressed concern for the use of this type of phrasing, referencing the October 11, 2022, Planning Commission item regarding a metal roof material that was not supported by design guidelines.

Chair Thompson thanked Ms. MacCarley for her first presentation to the Commission.

**MATTERS FROM ASSISTANT CITY ATTORNEY**

Mr. Mauer had nothing to report.

**MATTERS FROM STAFF INCLUDING UPCOMING AGENDA ITEMS**

Ms. Flores informed the Commission that there are two items set for the November 22 meeting, and three items for the December 6 meeting.

**ADJOURNMENT**

The Planning Commission adjourned the meeting at 7:24 p.m., to Tuesday, November 22, 2022, at 7:00 p.m. in the City Council Chamber.

\_\_\_\_\_  
Brad Thompson  
Chair, Planning Commission

ATTEST: \_\_\_\_\_  
Lisa Flores  
Secretary, Planning Commission